

## ABBREVIATIONS

|          |                 |
|----------|-----------------|
| EQ       | EQUAL           |
| EXIST/EX | EXISTING        |
| MIN      | MINIMUM         |
| MAX      | MAXIMUM         |
| O.C.     | ON CENTER       |
| PREFIN   | PREFINISHED     |
| REQMTS   | REQUIREMENTS    |
| S.S.     | STAINLESS STEEL |
| TYP      | TYPICAL         |
| VER      | VERIFY          |

# DOC 1JD DPP BASEMENT WATER INFILTRATION MITIGATION

**745 MAIN ST  
DUBUQUE, IOWA 52001**

**DAS PROJECT NO. 9390.00  
GENESIS PROJECT NO. 2406**

## CONTACT LIST

**OWNER:**  
STATE OF IOWA,  
DEPARTMENT OF ADMINISTRATIVE SERVICES  
109 SE 13TH STREET  
DES MOINES, IOWA 50319

**CLIENT:**  
DOC, FIRST DISTRICT  
745 MAIN STREET  
DUBUQUE, IA 52001

**CONSTRUCTION MANAGER:**  
DCI GROUP  
220 SE 6TH STREET - SUITE 200  
DES MOINES, IA 50309  
PROJECT MANAGER: JARRAD BOEVER  
MOBILE: 515-480-8280

**ARCHITECT:**  
GENESIS ARCHITECTURAL DESIGN  
939 OFFICE PARK ROAD  
WEST DES MOINES, IOWA 50265  
EDWARD L. MATT, AIA  
OFFICE: 515-440-1681

DURANTEM MEP CONSULTING  
3737 WOODLAND AVE. SUITE 420  
WEST DES MOINES, IA 50266  
CASEY ADAMS, P.E.  
OFFICE: 515-452-8341

## LOCATION MAP

N.T.S.



**PROJECT LOCATION**  
745 MAIN ST.  
DUBUQUE, IOWA 52001



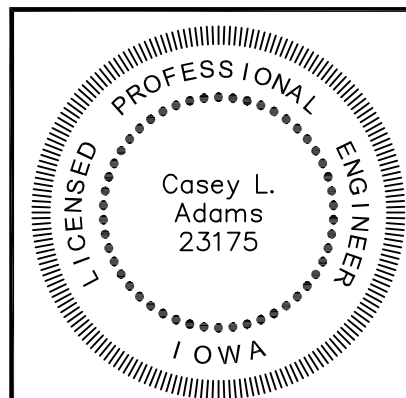
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### ARCHITECTURAL


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### PLUMBING & ELECTRICAL

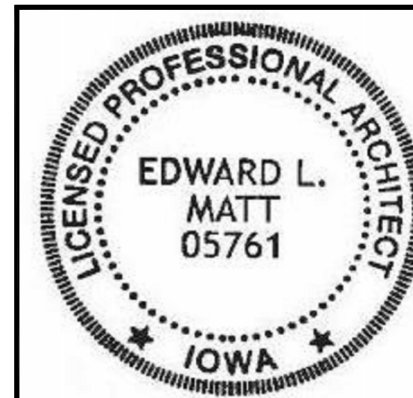
- PD1.0 PARTIAL BASEMENT PLUMBING DEMO PLAN
- PD1.1 ALLEY PLUMBING UTILITY DEMO PLAN
- P1.0 PARTIAL BASEMENT PLUMBING PLAN
- P1.1 ALLEY PLUMBING UTILITY PLAN
- ED1.0 PARTIAL BASEMENT ELECTRICAL DEMO PLAN
- ED1.1 PARTIAL BASEMENT ELECTRICAL DEMO PLAN
- E1.0 PARTIAL BASEMENT ELECTRICAL PLAN
- E1.1 ALLEY ELECTRICAL UTILITY PLAN



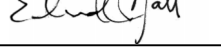
I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa

Signature   
Casey L. Adams Reg. No. 23175  
Date Issued: Nov. 14, 2024

Pages or sheets covered by this seal:  
PD1.0, PD1.1, P1.0, P1.1, ED1.0, ED1.1, E1.0 & E1.1



I hereby certify that the portion of this technical submission described below was prepared by me or under my supervisor and responsible charge. I am a duly registered Architect under the laws of the State of Iowa.

Signature   
Edward L. Matt Reg. No. 05761

Pages or Sheets covered in part or whole by this seal:  
A0.0, A0.1, A1.0, A1.1, A1.2, A1.3 & A2.0.

Date Issued: Nov. 14, 2024

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TEL: 515-440-1681  
FAX: 515-440-1687



DOC 1JD  
DPP BASEMENT WATER INFILTRATION MITIGATION  
745 MAIN ST  
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COVER

DAS NO.  
9390.00

PROJECT NO.  
2406

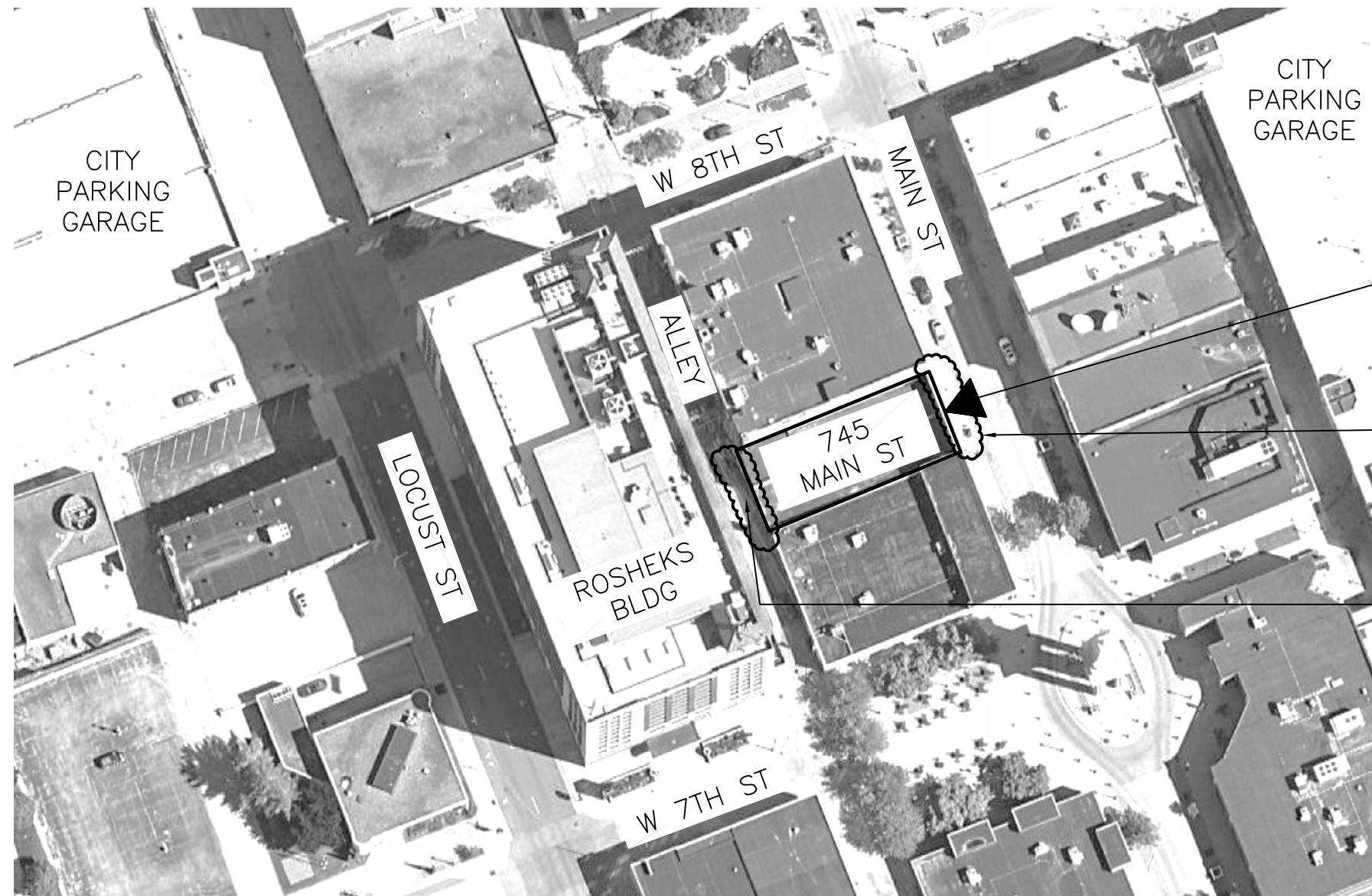
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A0.0

SITE NOTE:

1. CONTRACTOR PROVIDE WASTE DUMPSTER OR MAKE DAILY OFFSITE HAULS.
2. COORDINATE WITH BUILDING OWNER AND CITY FOR SIDEWALK, PARKING, AND ALLEY CLOSURE. CONTRACTOR TO PROVIDE TEMPORARY SITE BARRIERS & PAY CITY FEES FOR ALL CLOSURES & PERMITS.
3. CONTRACTOR TO COORDINATE DIRECT WITH THE CITY OF DUBUQUE FOR ALL UTILITY LOCATES, SERVICE INTERRUPTIONS, AND RECONNECTIONS.
4. COORDINATE WITH BUILDING OWNER FOR ACCESS TO ELECTRICAL AND WATER.
5. OWNER'S CM WILL PROVIDE PORTABLE TOILET.



BUILDING ENTRANCE

PROPOSED DUMPSTER LOCATION IN STREET PARKING STALLS OR IN ALLEY.

PROJECT WORK AREA. COORDINATE WITH CITY & CM FOR PARTIAL ALLEY CLOSURE.



**SITE PLAN**

SCALE: NOT TO SCALE

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**DOC 1JD**  
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**DUBUQUE, IOWA 52001**

SITE MAP

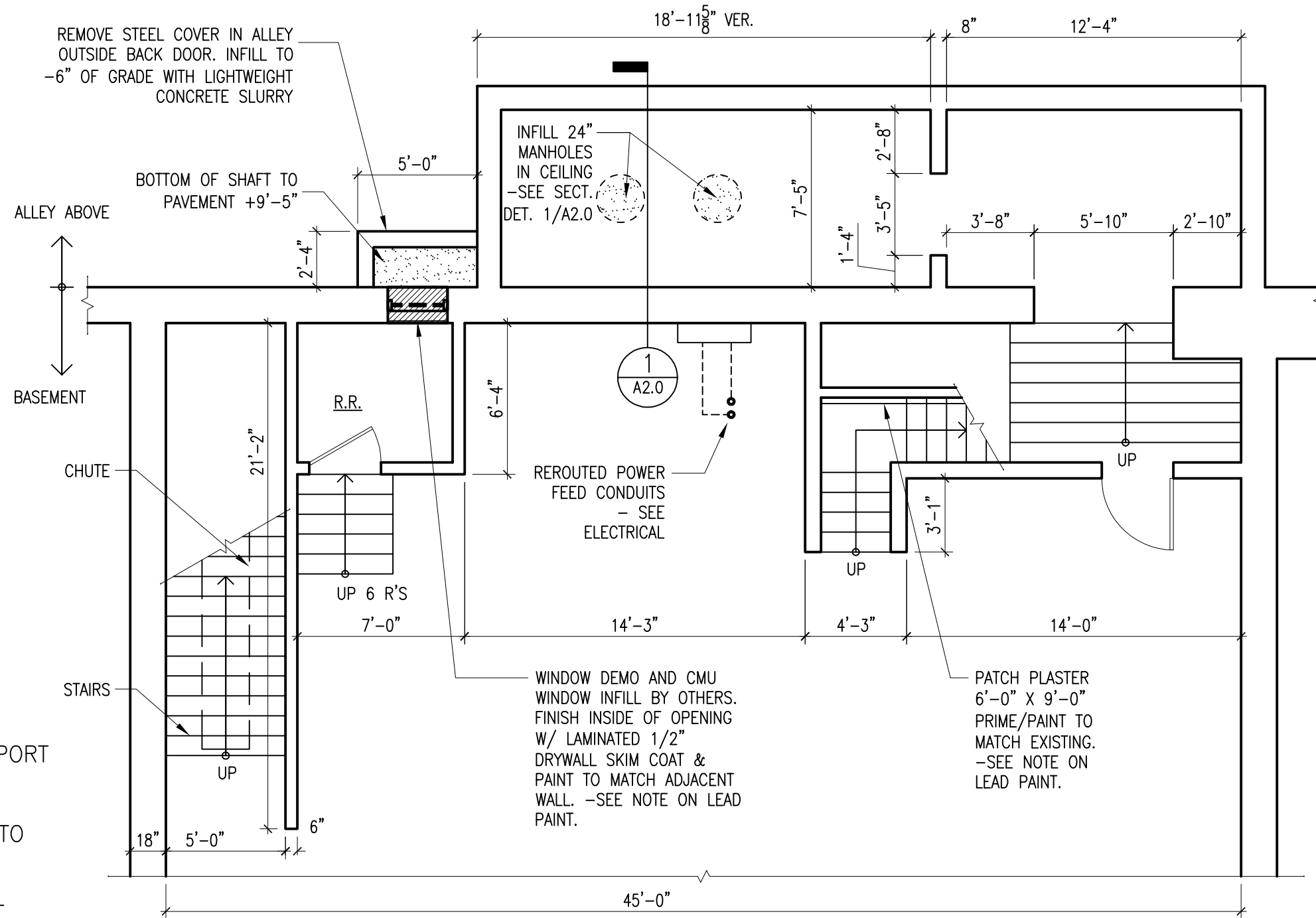
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**A0.1**



NOTE: SEE HAZMAT REPORT IN SPEC. CONTRACT PERFORMING PLASTER PATCHING & PAINTING TO BE LEAD CERTIFIED TO WORK ON AREAS CONTAINING LEAD PAINT.

**PARTIAL BASEMENT PLAN**

SCALE: 3/16" = 1'-0"

1  
 A1.0

NOTE: PERIMETER INFILL IS 6" ASPHALT OVER 6" SUB BASE OVER COMPACTED FILL

INDICATES AREA FOR ASPHALT PAVEMENT REMOVAL & REPLACEMENT

REMOVE STEEL COVER IN ALLEY OUTSIDE BACK DOOR. INFILL TO -6" OF GRADE WITH LIGHTWEIGHT CONCRETE SLURRY, COVER TOP AT GRADE WITH ASPHALT PAVEMENT

NEW PROTECTIVE BOLLARDS SEE DET'L 2/A2.0

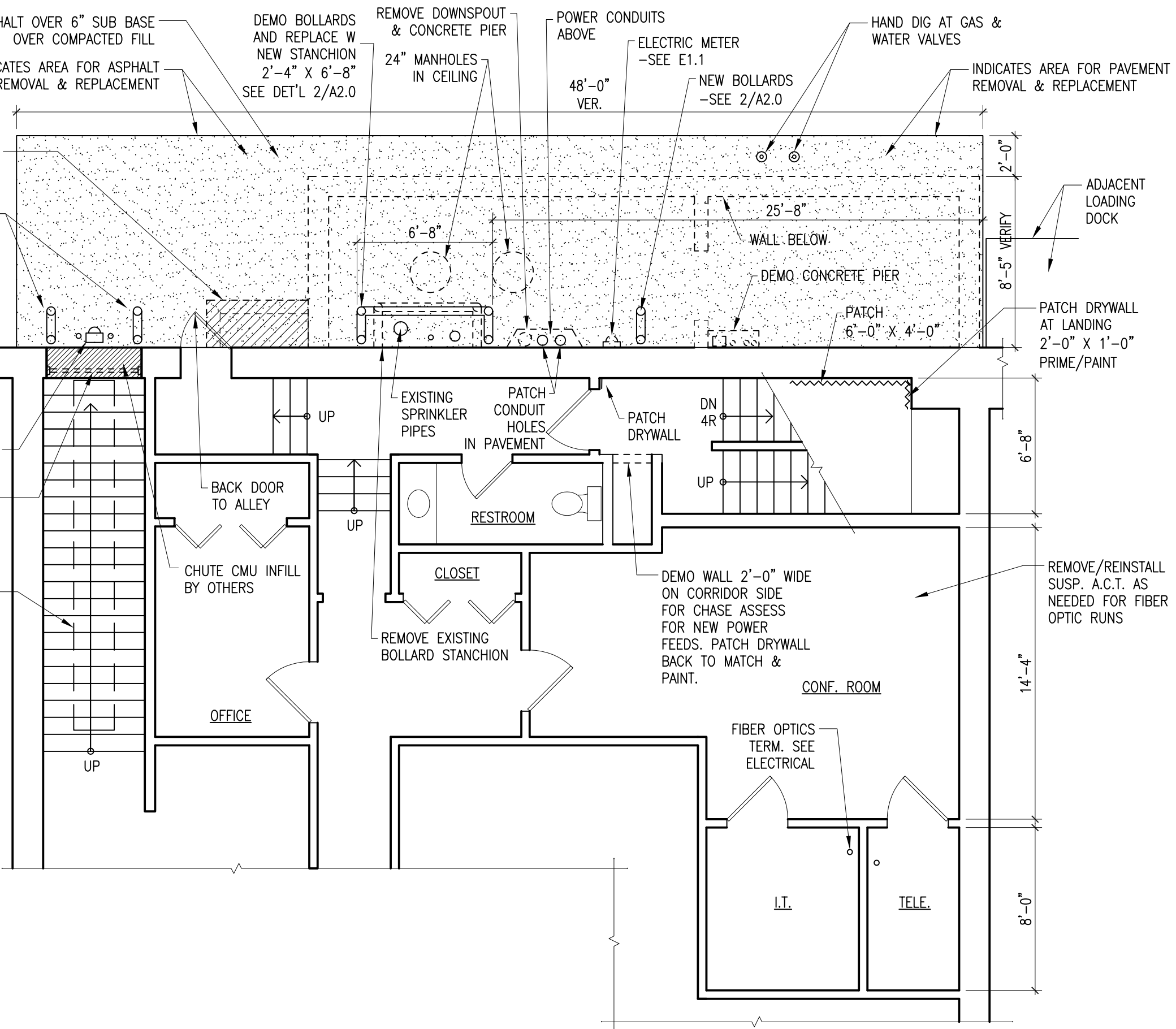
ALLEY  
INSIDE

NEW GAS METER LOCATION - SEE P1.1

CHUTE DOOR & FRAME REMOVED BY OTHERS. CMU INFILL BY OTHERS

STAIRS

NOTE: COORDINATE & VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE REMOVING ASPHALT & EXCAVATING IN ALLEY.

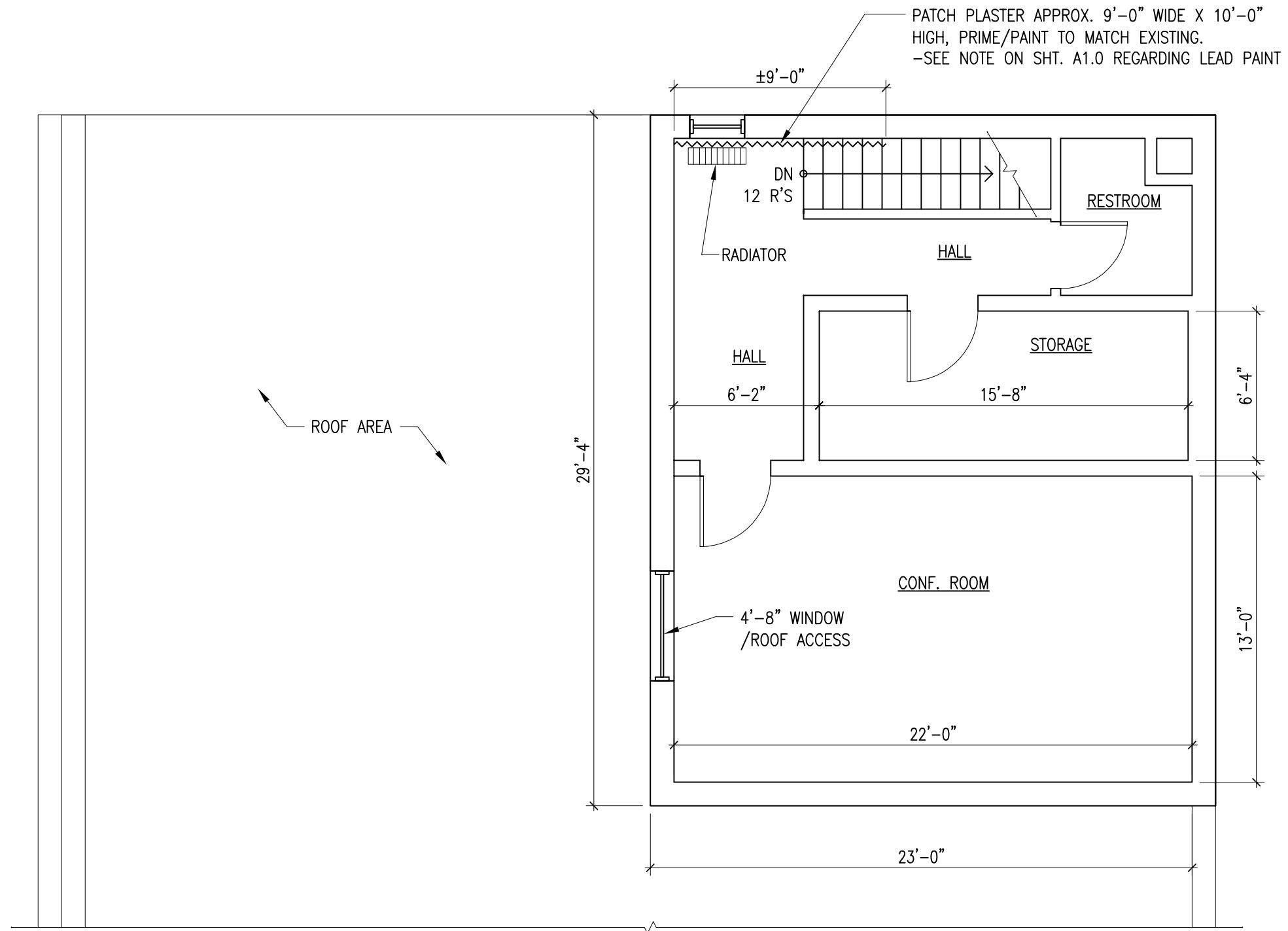


ALLEY & PARTIAL FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

1  
A1.1





**PARTIAL SECOND FLOOR PLAN**

SCALE: 3/16" = 1'-0"

1  
A1.2

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**DPP BASEMENT WATER INFILTRATION MITIGATION**  
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**DUBUQUE, IOWA 52001**

**PARTIAL  
SECOND FLOOR  
PLAN**

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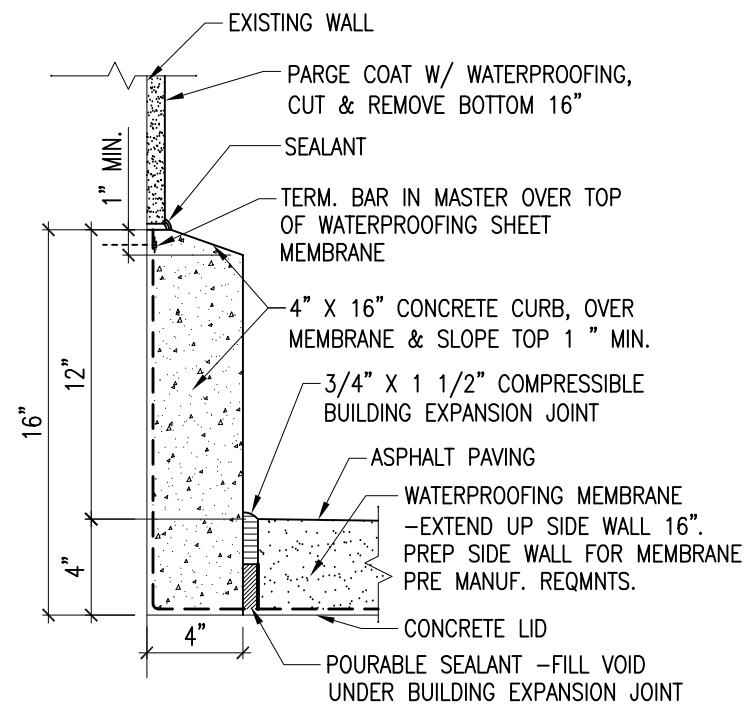
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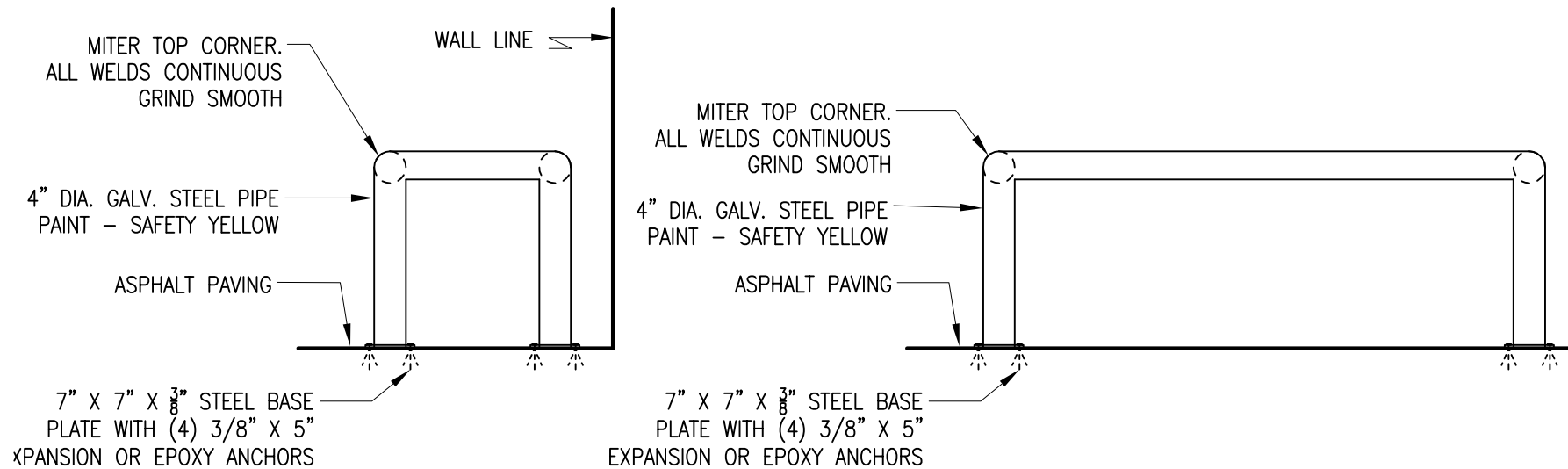
ALLEY PHOTO  
NTS

CUT & REMOVE PARGE  
COAT AND POUR  
CONCRETE CURB

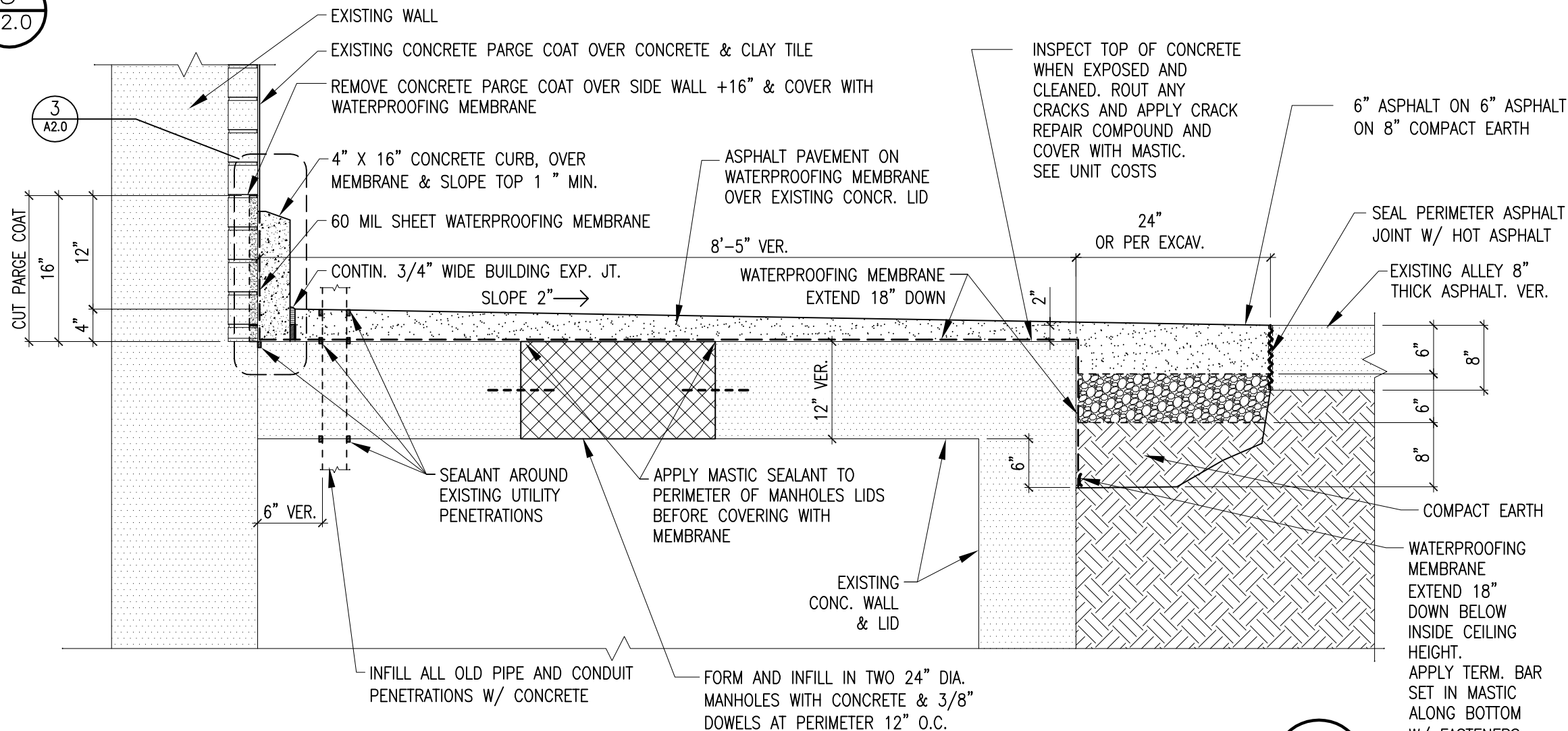
1  
A1.3



**WALL BASE DETAIL**  
 SCALE: 1 1/2" = 1'-0"  
 3  
 A2.0



**BOLLARD DETAILS**  
 SCALE: 1/2" = 1'-0"  
 2  
 A2.0



**SECTION**  
 SCALE: 3/4" = 1'-0"  
 1  
 A2.0

# GENERAL PLUMBING NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE, AND NATIONAL CODES, AS WELL AS LOCAL UTILITY REQUIREMENTS. PROVIDE ALL REQUIRED ACCESSORIES AND EQUIPMENT FOR A COMPLETE OPERATIONAL SYSTEM AND MAINTAIN WARRANTY REQUIREMENTS. VERIFY ALL EQUIPMENT PROVIDED IS SUITABLE FOR INTENDED USE.
2. WORK NOT SPECIFICALLY SHOWN IN DETAIL, REFERENCED, OR OTHERWISE IMPLIED, SHALL BE PROVIDED IN ACCORDANCE WITH TRADE OR INDUSTRY BEST STANDARD PRACTICES TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ALL MATERIALS SHALL BE NEW AND SHALL BE OF THE TYPE AND SHALL MEET THE CAPACITIES OF EQUIPMENT SPECIFIED ON THE DRAWINGS.
4. ALL EQUIPMENT LISTED UNDER THESE SPECIFICATIONS SHALL BE LIMITED TO PRODUCTS REGULARLY PRODUCED AND RECOMMENDED FOR SERVICE IN ACCORDANCE WITH ENGINEERING DATA, RATINGS, OR OTHER COMPREHENSIVE LITERATURE MADE AVAILABLE TO THE PUBLIC AND IN EFFECT AT THE TIME OF OPENING BIDS.
5. EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND CODE REQUIREMENTS FOR TYPE AND CAPACITY OF EACH PIECE OF EQUIPMENT USED.
6. ALL CUTTING AND PATCHING REQUIRED FOR PLUMBING AND FIRE WORK SHALL BE PERFORMED BY THE MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE. ALL FINISHED SURFACES THAT ARE CUT SHALL BE REPLACED IN KIND SO THERE IS NO VISIBLE EVIDENCE OF CUTTING AND/OR PATCHING.
7. INSTALL HANGERS AND SUPPORTS AS REQUIRED TO ADEQUATELY AND SECURELY SUPPORT PLUMBING SYSTEM COMPONENTS IN A NEAT AND WORKMANLIKE MANNER. DO NOT FASTEN SUPPORTS TO PIPES, DUCTS, MECHANICAL EQUIPMENT, OR CONDUIT.
8. COORDINATE PIPE ROUTING AND EQUIPMENT WITH BUILDING STRUCTURE, LIGHTING, AND FIRE ALARM DEVICES.
9. ALL EXPOSED MATERIALS SHALL BE PLENUM RATED.
10. NO LOADS SHALL BE PERMITTED TO BE HUNG FROM ROOF DECKING. ALL HANGERS SHALL BE HUNG DIRECTLY FROM STRUCTURE.
11. PROVIDE AS-BUILT DRAWINGS FOR PLUMBING AND FIRE SYSTEMS WITHIN 30 DAYS OF SUBSTANTIAL COMPLETION.
12. PROVIDE O&M MANUALS FOR ALL SYSTEMS AND EQUIPMENT TO OWNER WITHIN 30 DAYS OF SUBSTANTIAL COMPLETION.

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GENERAL PLUMBING  
 NOTES

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 9390.00

PROJECT NO.  
 2406

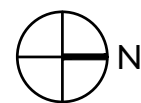
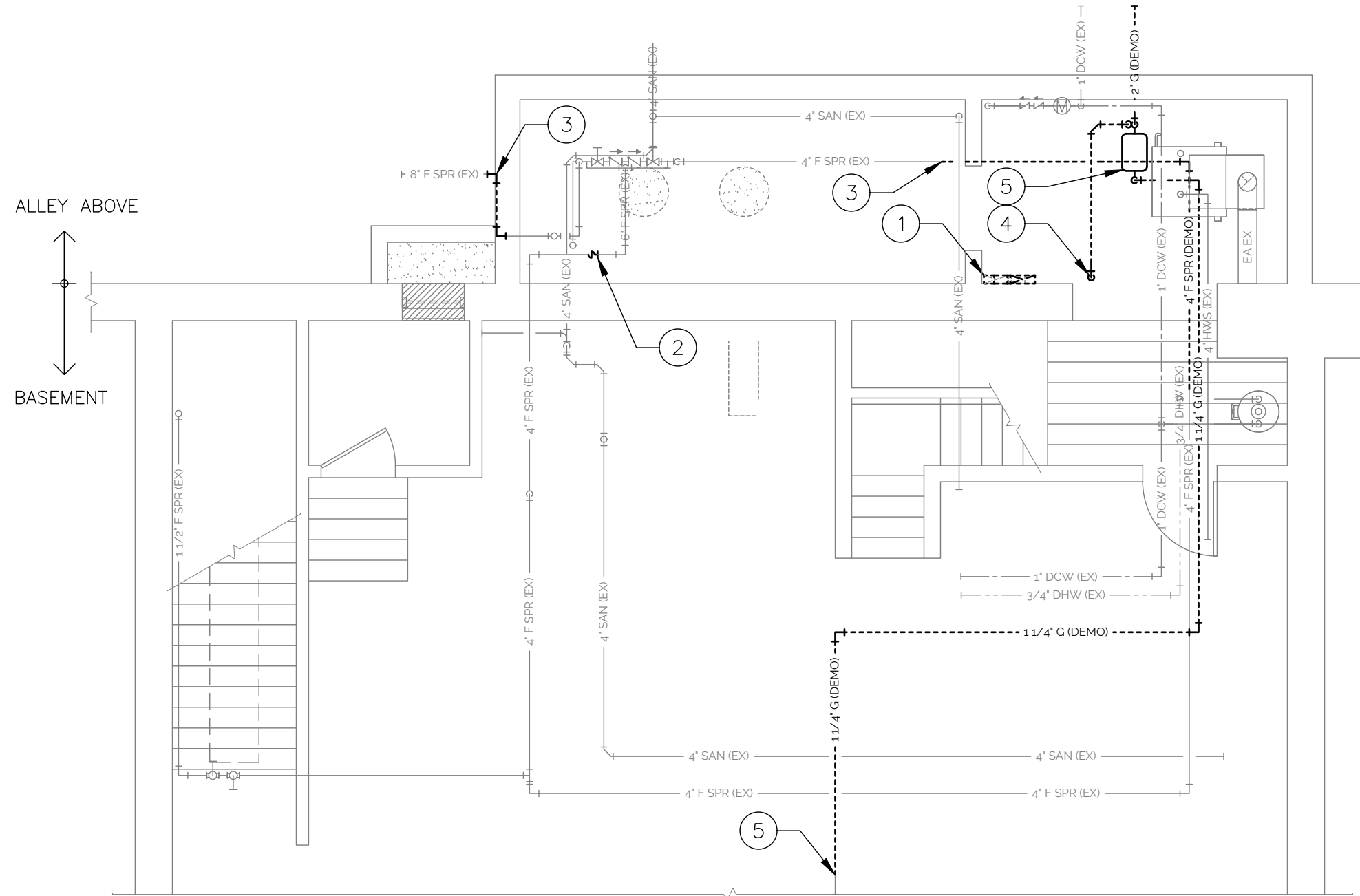
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 P0.0



# KEYED NOTES

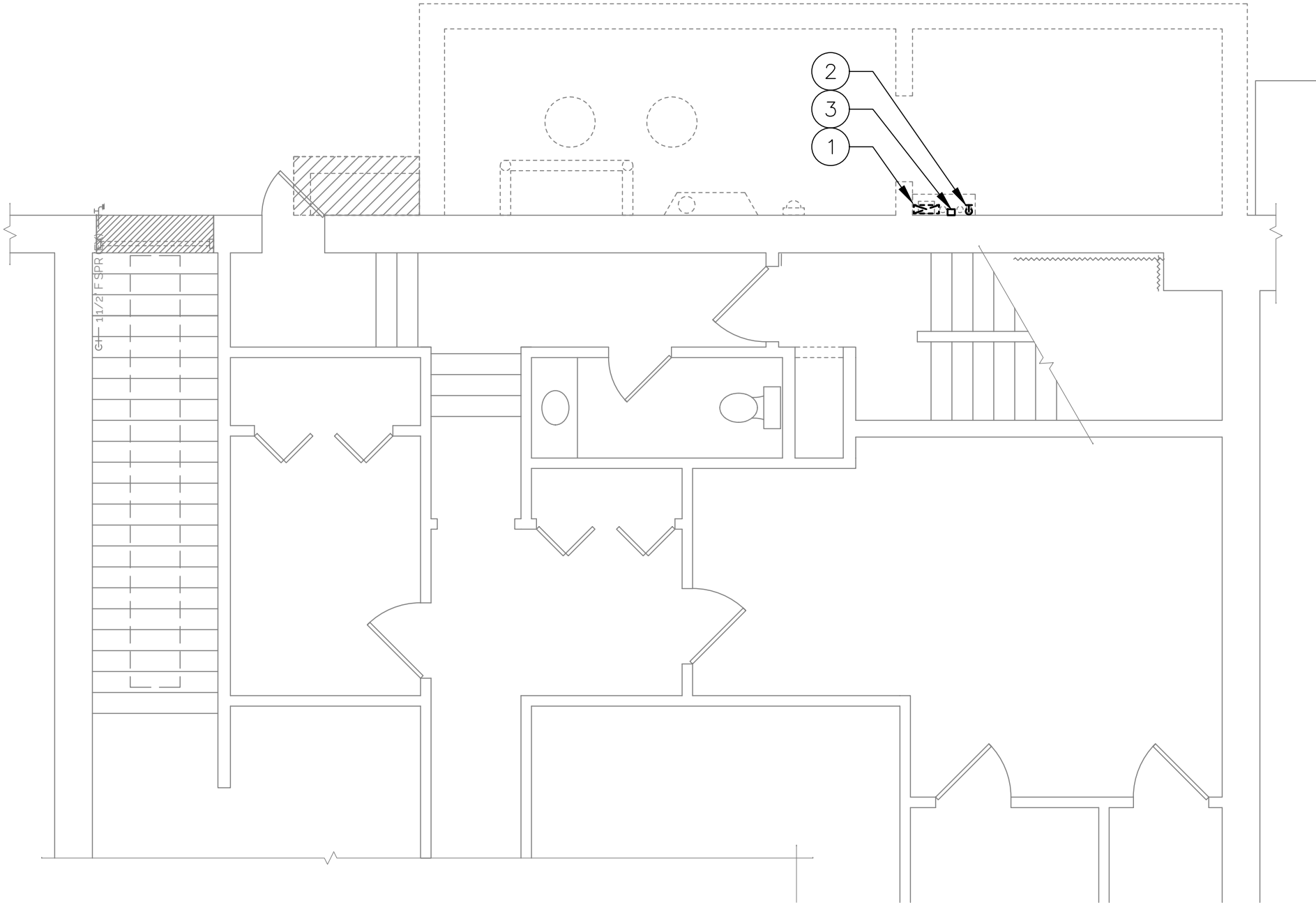
- ① DEMO EXHAUST DUCT.
- ② REPLACE 4" SPRINKLER RISER TO FDC AND SHUT OFF VALVE.
- ③ DEMO SPRINKLER PIPING AS INDICATED.
- ④ FOR CONTRACTOR REFERENCE ONLY: BLACK HILLS TO DEMO GAS REGULATOR VENT RISER TO ALLEY. REFER TO NEW WORK PLANS FOR RECONNECTION.
- ⑤ FOR CONTRACTOR REFERENCE ONLY: REMOVAL OF GAS METER, REGULATOR, AND GAS PIPING TO BE COMPLETED BY BLACK HILLS ENERGY. REFER TO NEW WORK PLANS FOR NEW GAS SERVICE ENTRANCE LOCATION. COORDINATE PHASING OF WORK WITH UTILITY COMPANY.



**1** PARTIAL BASEMENT PLUMBING DEMO PLAN  
3/16" = 1'-0"

# KEYED NOTES

- ① DEMO EXHAUST DUCT.
- ② FOR CONTRACTOR REFERENCE ONLY: BLACK HILLS TO DEMO GAS REGULATOR VENT RISER TO ALLEY.
- ③ FOR CONTRACTOR REFERENCE ONLY: WATER METER REMOTE READER TO BE RELOCATED BY CITY OF DUBUQUE WATER DEPARTMENT. REFER TO NEW WORK PLANS FOR NEW LOCATION.



**1** ALLEY & PARTIAL FIRST FLOOR PLUMBING DEMO PLAN  
3/16" = 1'-0"

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ALLEY PLUMBING  
UTILITY DEMO PLAN

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9390.00

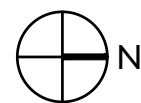
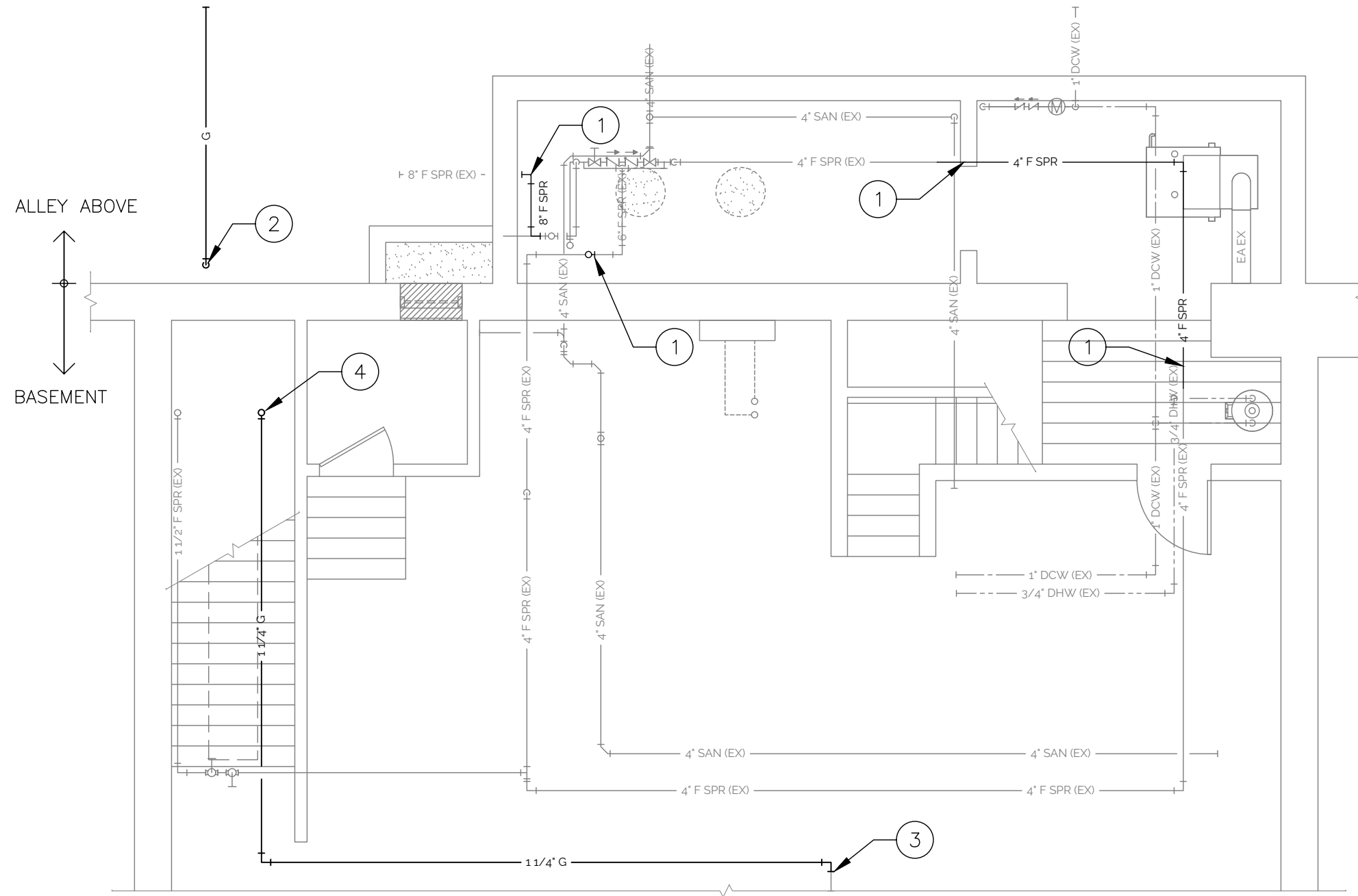
PROJECT NO.  
2406

ISSUE DATE  
10/25/24

SHEET NUMBER  
PD1.1

# KEYED NOTES

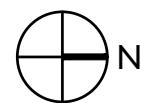
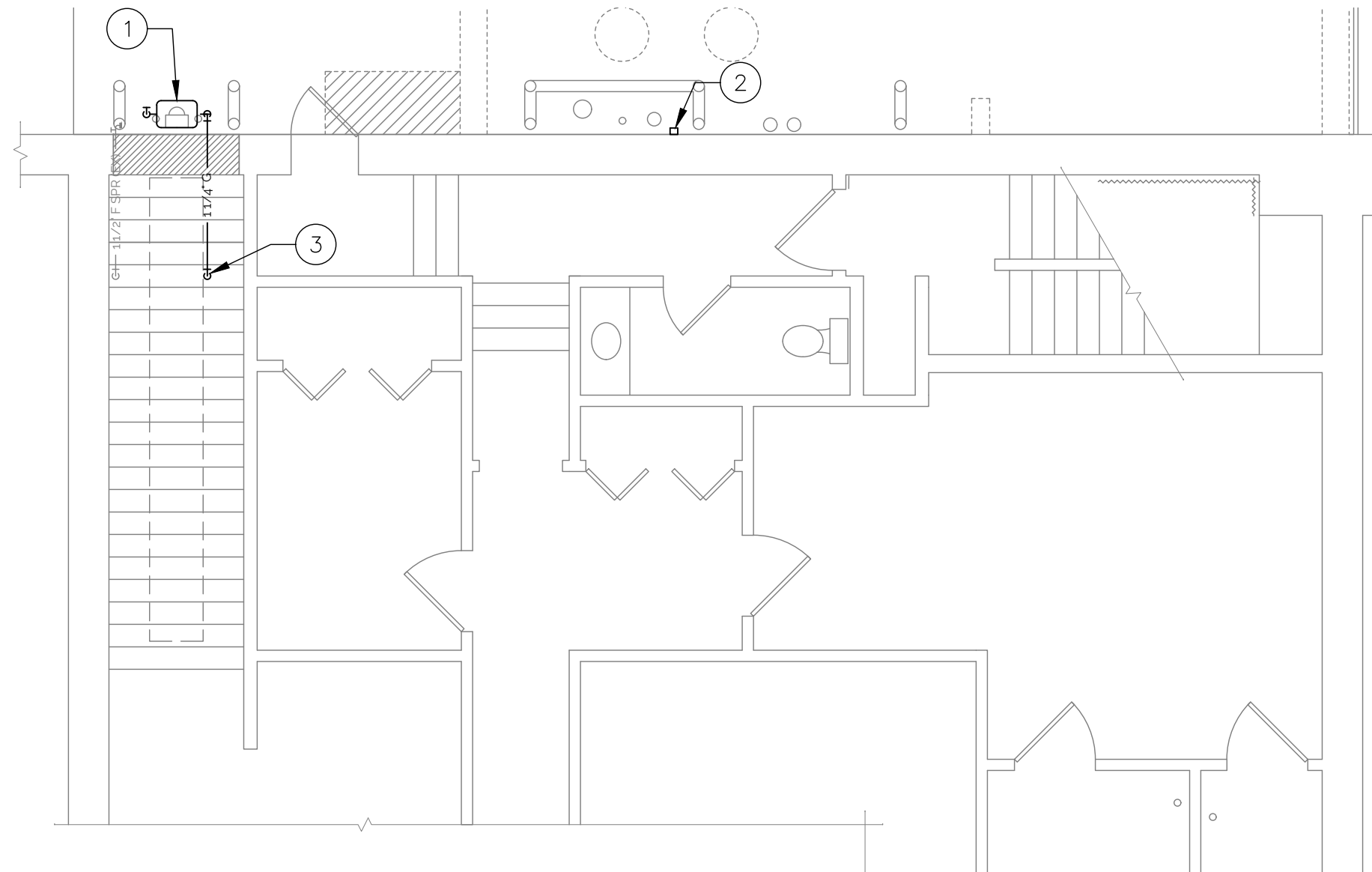
- ① REPLACE FIRE SPRINKLER PIPING AS INDICATED.
- ② FOR CONTRACTOR REFERENCE ONLY: NATURAL GAS SERVICE UP TO METER. WORK TO BE PERFORMED BY BLACK HILLS ENERGY.
- ③ FOR CONTRACTOR REFERENCE ONLY: CONNECT TO EXISTING GAS PIPING IN THIS AREA. WORK TO BE PERFORMED BY BLACK HILLS ENERGY.
- ④ FOR CONTRACTOR REFERENCE ONLY: 1-1/4" G UP. REFER TO SHEET P1.1 FOR CONTINUATION. WORK TO BE PERFORMED BY BLACK HILLS ENERGY.



**1** PARTIAL BASEMENT PLUMBING PLAN  
3/16" = 1'-0"

## KEYED NOTES

- ① FOR CONTRACTOR REFERENCE ONLY: BLACK HILLS ENERGY TO INSTALL NEW GAS METER, REGULATOR, AND ROUTE 1-1/4" G TO BASEMENT CHUTE ~18" ABOVE GRADE. BLACK HILLS TO COORDINATE PHASING OF WORK WITH GENERAL CONTRACTOR.
- ② FOR CONTRACTOR REFERENCE ONLY: CITY OF DUBUQUE WATER DEPARTMENT TO REINSTALL WATER METER REMOTE READER IN NEW LOCATION. COORDINATE WITH WATER UTILITY COMPANY.
- ③ FOR CONTRACTOR REFERENCE ONLY: 1-1/4" G DOWN. REFER TO SHEET P1.0 FOR CONTINUATION. WORK TO BE PERFORMED BY BLACK HILLS ENERGY.



**1** ALLEY & PARTIAL FIRST FLOOR PLUMBING PLAN  
3/16" = 1'-0"

# GENERAL ELECTRICAL NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE, AND NATIONAL CODES, AS WELL AS LOCAL UTILITY REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH LOCAL CODE OFFICIALS TO DETERMINE IF ANY CODE INTERPRETATIONS BY CODE ENFORCEMENT OFFICIALS WILL IMPACT PLANNED WORK.
2. PROVIDE ALL REQUIRED ACCESSORIES AND EQUIPMENT FOR A COMPLETE OPERATIONAL SYSTEM AND MAINTAIN WARRANTY REQUIREMENTS. VERIFY ALL EQUIPMENT PROVIDED IS SUITABLE FOR INTENDED USE. INSTALL ALL EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
3. WORK NOT SPECIFICALLY SHOWN IN DETAIL, REFERENCED, OR OTHERWISE IMPLIED, SHALL BE PROVIDED IN ACCORDANCE WITH TRADE OR INDUSTRY BEST STANDARD PRACTICES TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
4. COORDINATE EXACT WIRING REQUIREMENTS WITH MANUFACTURER'S REQUIREMENTS FOR EACH FIXTURE AND PIECE OF EQUIPMENT.
5. INSTALL HANGERS AND SUPPORTS AS REQUIRED TO ADEQUATELY AND SECURELY SUPPORT ELECTRICAL SYSTEM COMPONENTS IN A NEAT AND WORKMANLIKE MANNER AS SPECIFIED IN NECA 1. DO NOT FASTEN SUPPORTS TO PIPES, DUCTS, MECHANICAL EQUIPMENT, OR CONDUIT.
6. INSTALL CONDUIT SECURELY IN A NEAT AND WORKMANLIKE MANNER AS SPECIFIED IN NECA 1.
7. EQUIPMENT CONNECTIONS: MAKE CONDUIT CONNECTIONS TO EQUIPMENT USING FLEXIBLE CONDUIT.
8. INSTALL DISCONNECT SWITCHES, CONTROLLERS, CONTROL STATIONS, AND CONTROL DEVICES TO COMPLETE EQUIPMENT WIRING REQUIREMENTS.
9. PROVIDE AS-BUILT DRAWINGS FOR ELECTRICAL SYSTEMS WITHIN 30 DAYS OF SUBSTANTIAL COMPLETION.
10. PROVIDE O&M MANUALS FOR ALL SYSTEMS AND EQUIPMENT TO OWNER WITHIN 30 DAYS OF SUBSTANTIAL COMPLETION.
11. ALL EXPOSED CABLING SHALL BE PLENUM RATED.
12. CONTRACTOR(S) SHALL UNCONDITIONALLY WARRANTY IN WRITING ALL MATERIALS, EQUIPMENT, AND WORKMANSHIP FOR ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. CONTRACTOR(S) SHALL PROVIDE FREE SERVICE FOR ALL EQUIPMENT INVOLVED IN THEIR CONTRACT DURING THE WARRANTY PERIOD.

939 OFFICE PARK RD., #101  
 WEST DES MOINES, IA 50265  
 TEL: 515-440-1681  
 FAX: 515-440-1687



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GENERAL  
 ELECTRICAL NOTES

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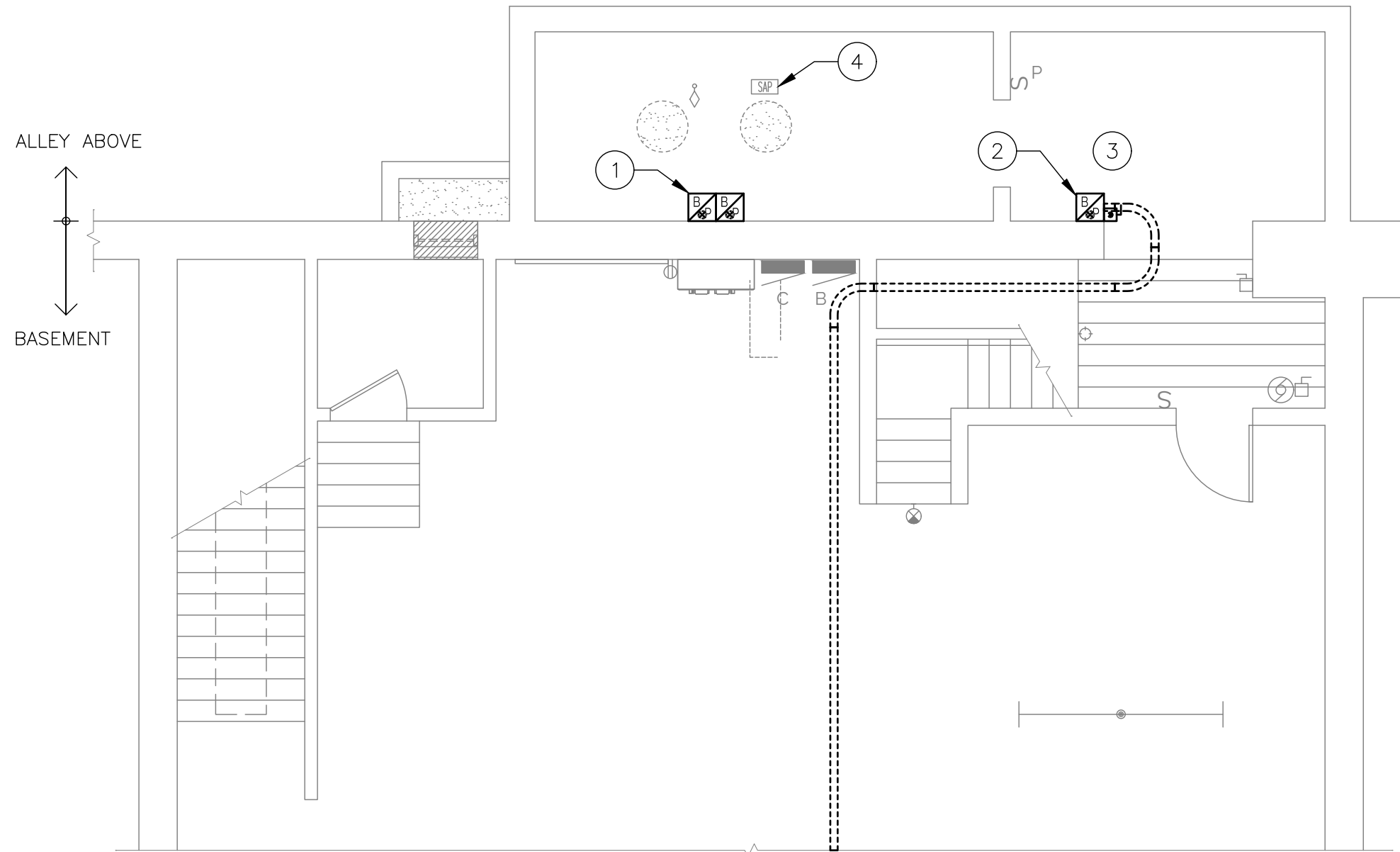
PROJECT NO.  
 2406

ISSUE DATE  
 10/25/24

SHEET NUMBER  
 E0.0

## KEYED NOTES

- ① REMOVE SPLICE BOXES AND CONDUIT UP TO ELECTRIC METER IN ALLEY. REFER TO NEW WORK PLANS FOR NEW ROUTING.
- ② REMOVE FIBER OPTIC SPLICE BOX AND CONDUIT AS INDICATED. MINIMIZE SHUTDOWN(S) TO NIGHT/WEEKEND AS MUCH AS POSSIBLE. COORDINATE SHUTDOWN WITH OWNER.
- ③ DEMO CIRCUITS SERVING DOWNSPOUT HEAT TRACE. COORDINATE HEAT TRACE LOCATIONS AND REVISIONS WITH ROOFING REPLACEMENT AND TUCKPOINTING PROJECTS. REFER TO NEW WORK PLANS FOR NEW CONDUIT ROUTING.
- ④ REMOVE FIRE ALARM GONG CONDUCTORS TO FIRE SPRINKLER SERVICE. REFER TO SHEET ED1.1 FOR GONG LOCATION.



① PARTIAL BASEMENT ELECTRICAL DEMO PLAN  
3/16" = 1'-0"

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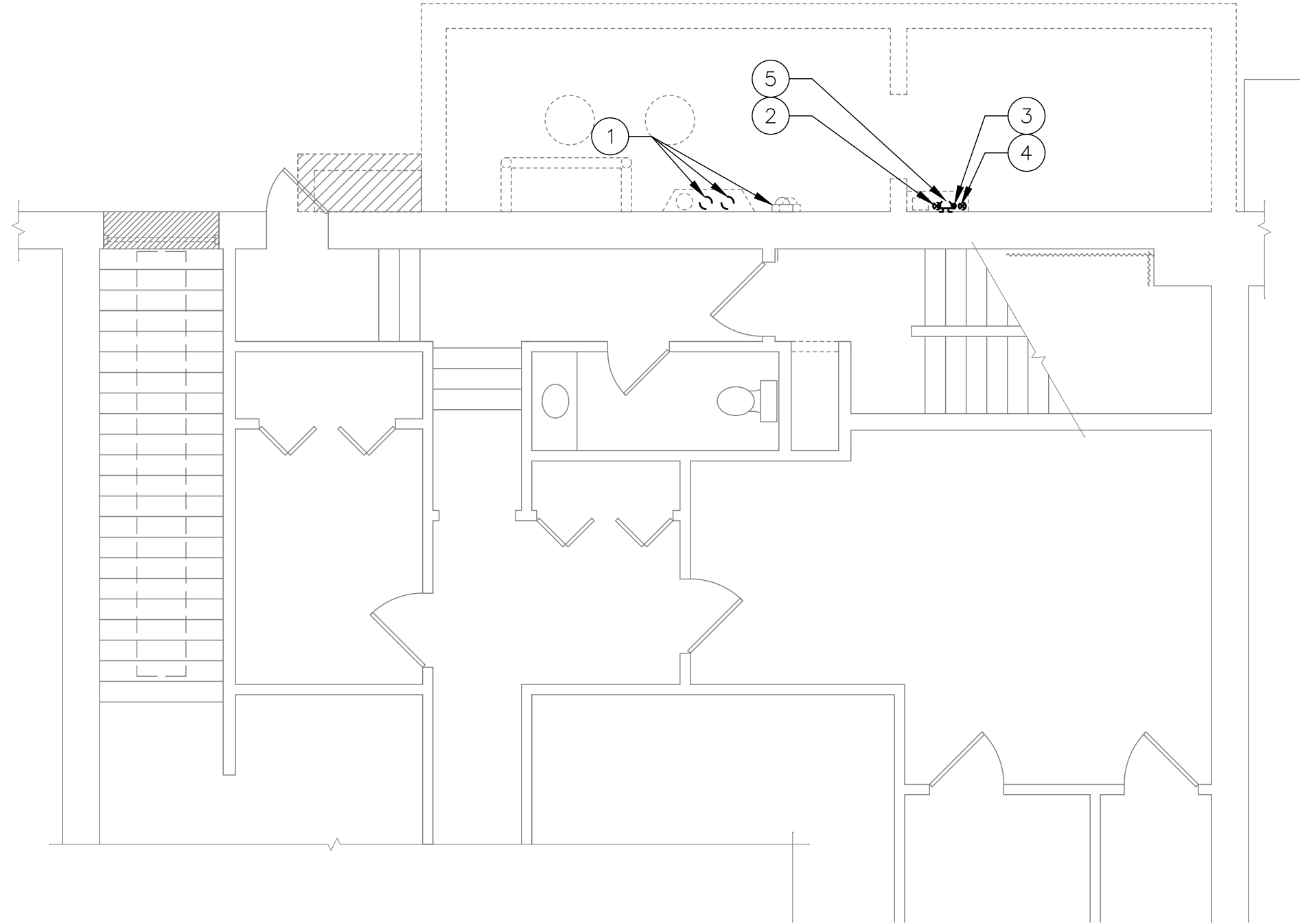
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ED1.0

# KEYED NOTES

- ① REMOVE CONDUIT UP TO OVERHEAD SERVICE. METER AND METERING CONDUIT/CONDUCTORS TO REMAIN. REFER TO NEW WORK PLANS FOR NEW ROUTING.
- ② REMOVE FIBER OPTIC SPLICE BOX AND CONDUIT AS INDICATED. MINIMIZE SHUTDOWN(S) TO NIGHT/WEEKEND AS MUCH AS POSSIBLE. COORDINATE SHUTDOWN WITH OWNER.
- ③ REROUTE CIRCUITS SERVING DOWNSPOUT HEAT TRACE. COORDINATE HEAT TRACE LOCATIONS AND REVISIONS WITH ROOFING REPLACEMENT AND TUCKPOINTING PROJECTS.
- ④ REMOVE ABANDONED CONDUIT. CONDUIT IS ROUTED UP THROUGH SHEET METAL ENCLOSURE TO ~10'-0" ABOVE GRADE, THEN ROUTES HORIZONTALLY ~15'-0". REMOVE ENTIRE LENGTH OF ABANDONED CONDUIT.
- ⑤ REMOVE FIRE ALARM GONG. REMOVE CONDUCTORS BACK TO FIRE SPRINKLER SERVICE IN BASEMENT SPRINKLER ROOM. REFER TO SHEET ED1.0 FOR BASEMENT SPRINKLER ROOM LOCATION. SALVAGE GONG FOR REUSE.



**1** ALLEY & PARTIAL FIRST FLOOR ELECTRICAL DEMO PLAN  
3/16" = 1'-0"

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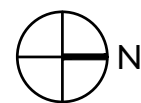
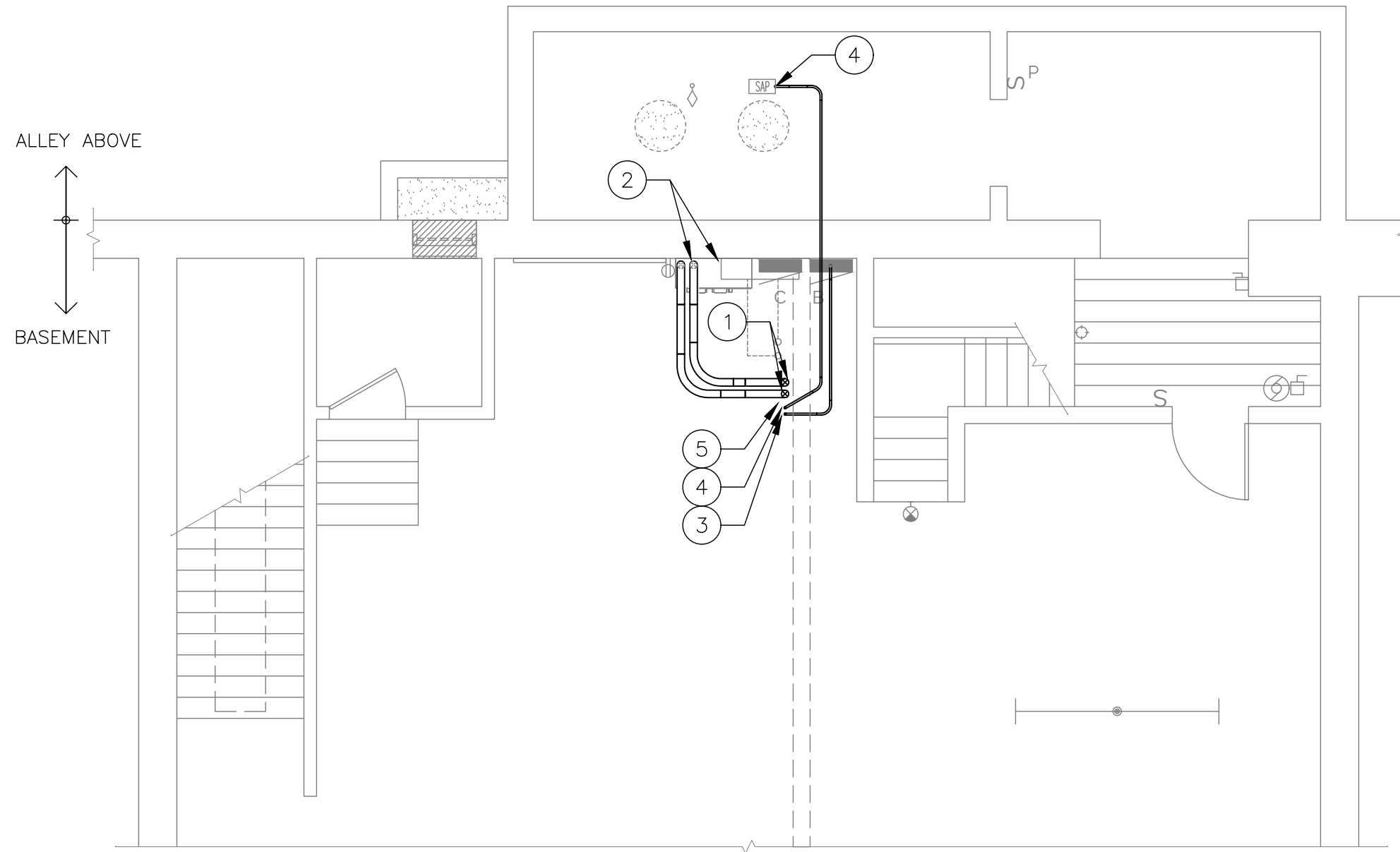
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# KEYED NOTES

- ① ROUTE (2) PARALLEL SETS OF (4) #500 + (1) 2/0 GROUND COPPER CONDUCTORS EACH IN NEW 3" CONDUIT UP THROUGH CEILING AT CHASE LOCATION. REFER TO SHEET E1.1 FOR CONTINUATION.
- ② ROUTE 3" CONDUITS TO EXISTING MDP AND RE-FEED PANEL.
- ③ 3/4" CONDUIT WITH HEAT TRACE CONDUCTORS UP THROUGH CHASE. REFER TO SHEET E1.1 FOR CONTINUATION.
- ④ ROUTE NEW CONDUCTORS FROM NEW GONG LOCATION TO FIRE SPRINKLER ENTRANCE IN BASEMENT SPRINKLER ROOM. REFER TO SHEET E1.1 FOR GONG LOCATION.
- ⑤ DO NOT DRILL THROUGH EXISTING BEAM. CONTRACTOR SHALL PRE-MARK PENETRATION LOCATIONS FOR OWNER/DESIGN TEAM REVIEW PRIOR TO DRILLING. DRILL PILOT HOLES PRIOR TO CORE-DRILLING TO VERIFY LOCATION DOES NOT PENETRATE BEAM.



**1** PARTIAL BASEMENT ELECTRICAL PLAN  
3/16" = 1'-0"

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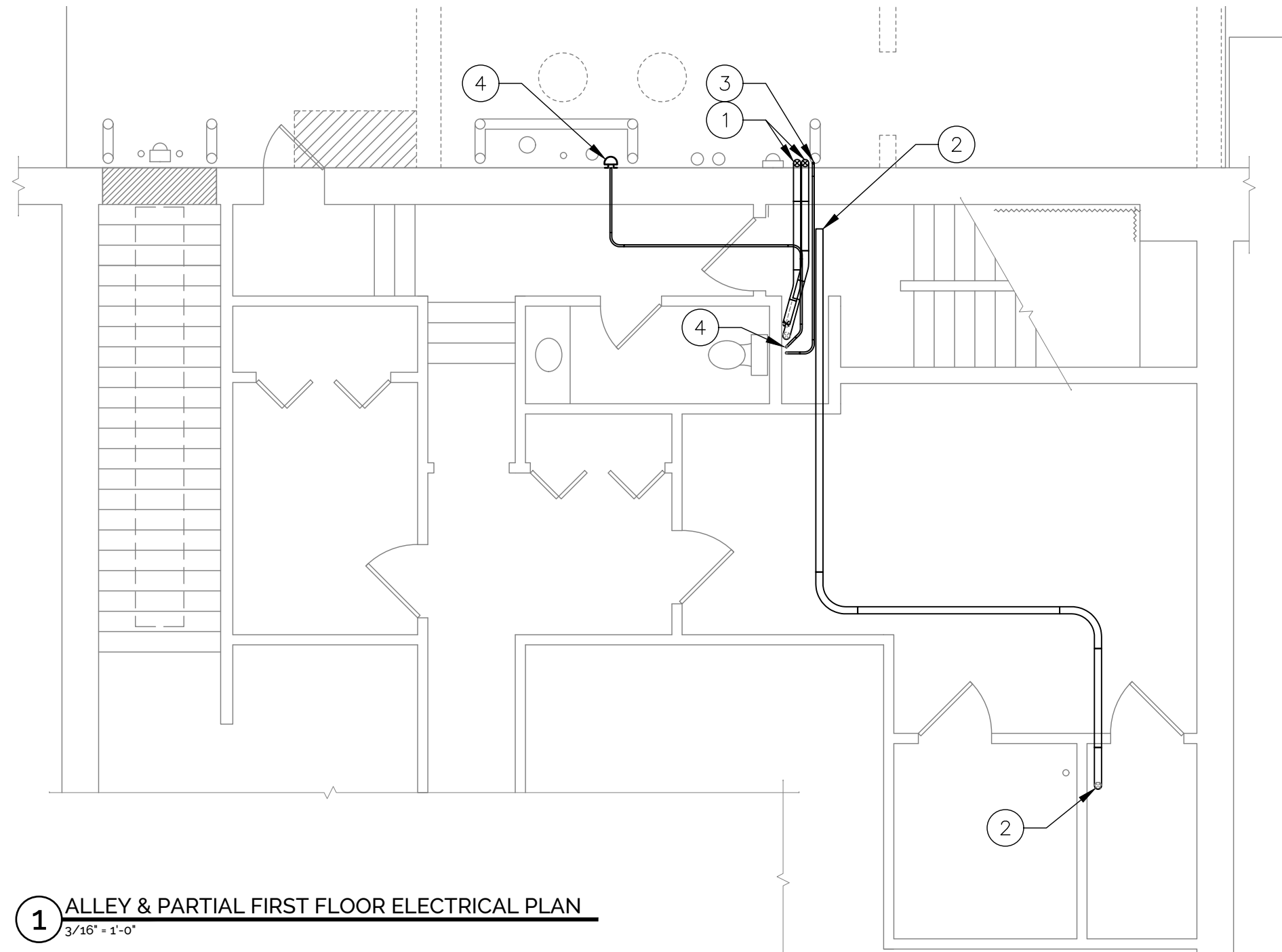
ISSUE DATE  
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SHEET NUMBER  
E1.0



# KEYED NOTES

- ① ROUTE (2) PARALLEL SETS OF (4) #500 + (1) 2/0 GROUND COPPER CONDUCTORS EACH IN NEW 3" CONDUIT FROM EXISTING ELECTRIC METER LOCATION IN ALLEY TO MDP. COORDINATE WITH ROOF REPLACEMENT AND TUCKPOINTING PROJECTS FOR NEW DOWNSPOUT LOCATIONS. CONDUITS SHALL PENETRATE EXTERIOR WALL ABOVE HALLWAY CEILING LEVEL TO CONCEAL CONDUITS.
- ② ROUTE (2) 12-STRAND FIBER OPTIC CABLES THROUGH 1ST FLOOR CEILING TO DATA CLOSET. PROVIDE SLEEVE AT EACH OPEN END OF CONDUIT. COORDINATE EXACT ROUTING WITH OWNER PRIOR TO START OF WORK. MINIMIZE SHUTDOWN(S) TO NIGHT/WEEKEND AS MUCH AS POSSIBLE. COORDINATE SHUTDOWN WITH OWNER.
- ③ ROUTE NEW 3/4" CONDUIT FOR HEAT TRACE ABOVE CORRIDOR CEILING AND PENETRATE EXTERIOR WALL AS HIGH AS POSSIBLE. PROVIDE WEATHER-PROOF JUNCTION BOX ON SOUTH WALL OF 2ND STORY 2'-0" ABOVE LOWER ROOF. REFER TO SHEET A1.3 FOR FURTHER DETAILS.
- ④ REINSTALL SALVAGED FIRE ALARM GONG. ROUTE NEW CONDUCTORS THROUGH WALL WITH NEW HEAT TRACE CONDUIT AND RECONNECT TO FIRE SPRINKLER ENTRANCE IN BASEMENT SPRINKLER ROOM. SEE SHEET E1.0 FOR BASEMENT SPRINKLER ROOM LOCATION.



**1** ALLEY & PARTIAL FIRST FLOOR ELECTRICAL PLAN  
3/16" = 1'-0"

939 OFFICE PARK RD., #101  
WEST DES MOINES, IA 50265  
TEL: 515-440-1881  
FAX: 515-440-1887



DOC 1JD  
DPP BASEMENT WATER INFILTRATION MITIGATION  
745 MAIN ST  
DUBUQUE, IOWA 52001

ALLEY ELECTRICAL  
UTILITY PLAN

DAS NO.  
9390.00

PROJECT NO.  
2406

ISSUE DATE  
10/25/24

SHEET NUMBER  
**E1.1**