

# IA DAS - DOC MPCF Bldg 20 Elevator Rep Iowa Department of Administrative Services

1200 E Washington St, Mt Pleasant, IA 52641

DAS # 9361.00

RFB 936100-01

SHIVEHATTERY  
ARCHITECTURE+ENGINEERING  
4125 WESTOWN PARKWAY, SUITE 100  
WEST DES MOINES, IA 50366  
319.223.8104 | SHIVEHATTERY.COM

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## CERTIFICATIONS

### ARCHITECT

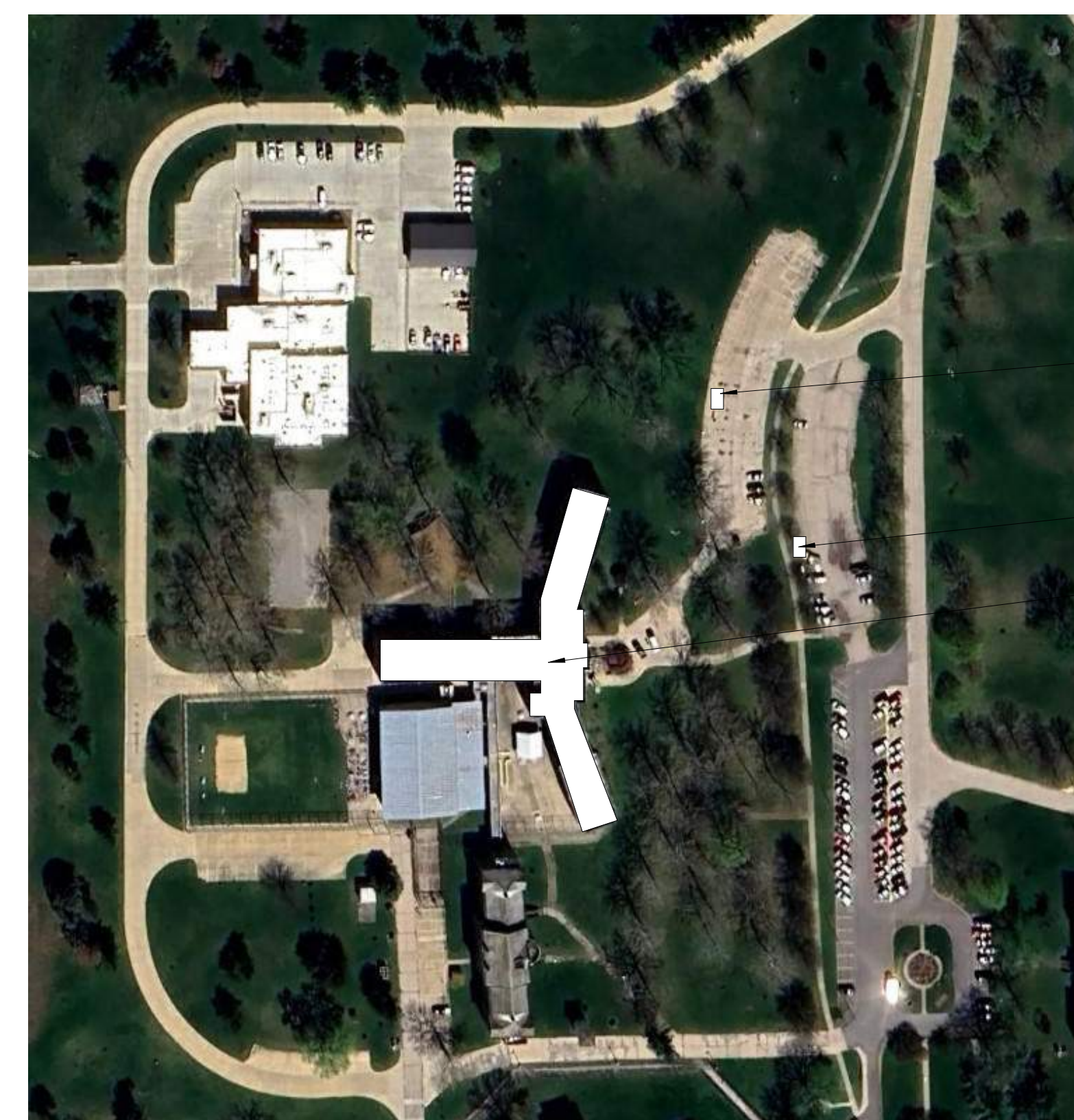
	I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.	
	SIGNATURE	DATE
	PRINTED OR TYPED NAME	Cameron L. Manley
	LICENSE NUMBER	06716
MY LICENSE RENEWAL DATE IS JUNE 30, 2025		
PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL		
ALL "G" AND "A" SERIES SHEETS		

### MECHANICAL ENGINEER

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.	
	SIGNATURE	DATE
	PRINTED OR TYPED NAME	Tyson L. Scheidecker
	LICENSE NUMBER	21691
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024		
PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL		
ALL "M" SERIES SHEETS		

### ELECTRICAL ENGINEER

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.	
	SIGNATURE	DATE
	PRINTED OR TYPED NAME	Edin Smalovic
	LICENSE NUMBER	21953
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024		
PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL		
ALL "E" SERIES SHEETS		



CONEX BOX LOCATION  
DUMPSTER LOCATION  
PROJECT LOCATION

### APPLICABLE CODES

- 2015 International Building Code
- 2015 International Fire Code
- 2015 International Existing Building Code
- 2010 Americans with Disabilities Act
- State Mechanical Code
- State Plumbing Code
- State Electrical Code
- ASME A17.1 Safety Code for Elevators and Escalators
- State of Iowa Elevator Safety Rules
- IBC Chapter 3 - Use and Occupancy Classification  
The use and occupancy classification of the existing building will remain unchanged.
- IBC Chapter 5 - General Building Heights and Areas  
Existing building height and area to remain unchanged.
- IBC Chapter 6 - Types of Construction  
The type of construction for the existing building will remain unchanged.
- IBC Chapter 7 - Fire and Smoke Protection Features  
Existing elevator shaft is considered to be 2-hour construction.
- IBC Chapter 10 - Means of Egress  
Means of egress will remain unchanged in the existing building.

PROJECT LOCATION

(A6) SITE LOCATION  
NOT TO SCALE

IA DAS - DOC MPCF Bldg 20 Elevator Rep

Iowa Department of Administrative Services  
CLIENT PROJECT NUMBER: DAS # 9361.00  
1200 E Washington St, Mt Pleasant, IA 52641

ISSUED FOR: BIDDING  
PROJECT ISSUE DATE: 04/25/2024

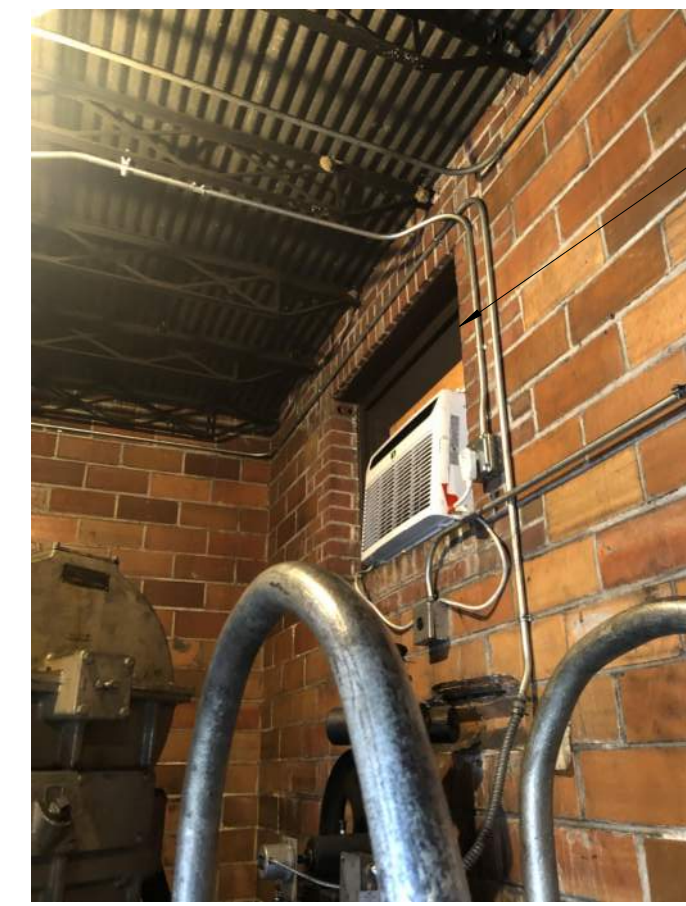
G000

PROJECT NUMBER: 2142305460



**ARCHITECTURAL DEMOLITION NOTES**

- FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF DEMOLITION WORK. NOTIFY ARCHITECT IN WRITING OF DISCREPANCIES BETWEEN WORK SHOWN IN THE DRAWINGS AND FIELD CONDITIONS ENCOUNTERED.
- TO PROTECT OWNER AND CONTRACTOR, PHOTOGRAPHICALLY DOCUMENT EXISTING CONDITIONS TO REMAIN, PRIOR TO START OF DEMOLITION AND CONSTRUCTION ACTIVITIES. COPY ARCHITECT AND OWNER ON PHOTOGRAPHIC DOCUMENTATION.
- OPEN FLAME EQUIPMENT IS NOT PERMITTED FOR REMOVAL OF EXISTING WORK WITHOUT SPECIFIC WRITTEN PERMISSION FROM THE OWNER.
- COORDINATE WITH OWNER ANY ITEMS TO BE SALVAGED.
- OWNER WILL REMOVE ALL NON-FIXED FURNISHINGS AND EQUIPMENT FROM THE CONSTRUCTION AREA PRIOR TO START OF CONSTRUCTION UNLESS NOTED OTHERWISE.
- MAINTAIN BUILDING IN A WEATHER-TIGHT CONDITION. DO NOT PERFORM WORK ON EXTERIOR OPENINGS THAT CANNOT BE COMPLETED OR MADE WEATHER-TIGHT WHEN INCLEMENT WEATHER IS POSSIBLE.
- COORDINATE PENETRATION LOCATIONS WITH ASSOCIATED TRADES.
- COORDINATE WITH OTHER TRADES CUTTING AND PATCHING REQUIRED FOR DEMOLITION OR NEW CONSTRUCTION.
- ANY DEMOLITION OR REMOVAL INDICATED IS SHOWN IN GENERAL TO PROVIDE THE EXTENT OF DEMOLITION AND IS NOT TO BE CONSIDERED AS A RECORD DRAWING OF EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR IN FIELD VERIFICATION AND COORDINATION WITH THE ARCHITECT PRIOR TO COMMENCING WITH STATED WORK.
- ALL CONSTRUCTION TO REMAIN WHICH IS AFFECTED BY DEMOLITION SHALL BE PATCHED, BE PROPERLY ALIGNED AND FINISHED SO AS TO LEAVE NO EVIDENCE OF PATCHING OR REPAIR. REPAIR OR REPLACE ANY EXISTING CONSTRUCTION, MATERIALS, OR EQUIPMENT DAMAGED DURING DEMOLITION TO LIKE NEW CONDITION.
- THE CONTRACTOR IS TO RETURN SALVAGEABLE MATERIALS, INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, HARDWARE, MARBLE, EQUIPMENT, AND LIGHTING FIXTURES TO THE OWNER AND STOCKPILE THEM IN AN APPROVED CONSTRUCTION AREA. DISPOSE OF THESE MATERIALS AFTER OWNER'S REVIEW AND APPROVAL.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL FINISHES TO REMAIN IN THE PROJECT AREA. COORDINATE WITH ARCHITECT AND OWNER PRIOR TO DEMOLITION.
- CONTRACTOR SHALL ENSURE THAT DUST AND DEBRIS ARE PREVENTED FROM ENTERING THE EXISTING HVAC SYSTEM AND ADJOINING SPACES WITH TEMPORARY BARRIERS AS REQUIRED PER THE BUILDING.
- INDICATION OF NEW MATERIALS SHALL INFER ALL REMOVAL OR DEMOLITION AND PATCHING REQUIRED OF EXISTING MATERIALS AND SUBSTRATES FOR PROPER ALIGNMENT. MATCH EXISTING FINISHES.
- ALL NEW AND EXISTING PENETRATIONS IN EXISTING WALLS, FLOORS AND CEILING DECKS SHALL RECEIVE UL AND FACILITY APPROVED FIRE SEALANT MATERIALS TO MATCH RATING REQUIREMENT OF AREA BEING PENETRATED.
- OWNER'S EXISTING DIAMOND PLATE SHEET MAY BE USED BY CONTRACTOR FOR FLOOR PROTECTION IN EXISTING ELEVATORS IF NEEDED DURING CONSTRUCTION.



**B2** DEMO PHOTO 1  
NOT TO SCALE

REMOVE EXISTING EXTERIOR WINDOW FRAME, PATCH AND PREPARE OPENING FOR NEW WORK



**D2** DEMO PHOTO 3  
NOT TO SCALE

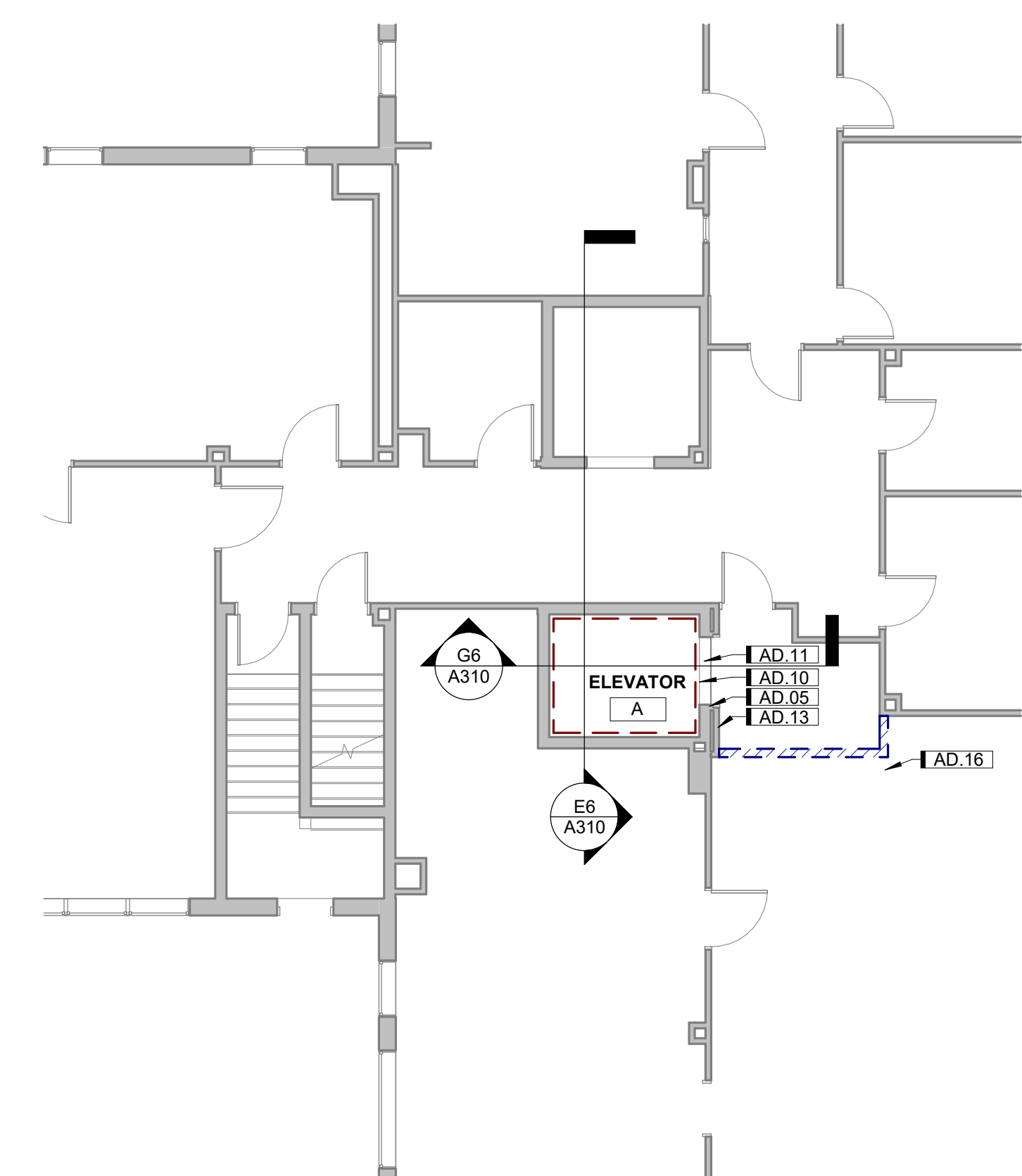
REMOVE EXISTING EXTERIOR WINDOW FRAME, PATCH AND PREPARE OPENING FOR NEW WORK



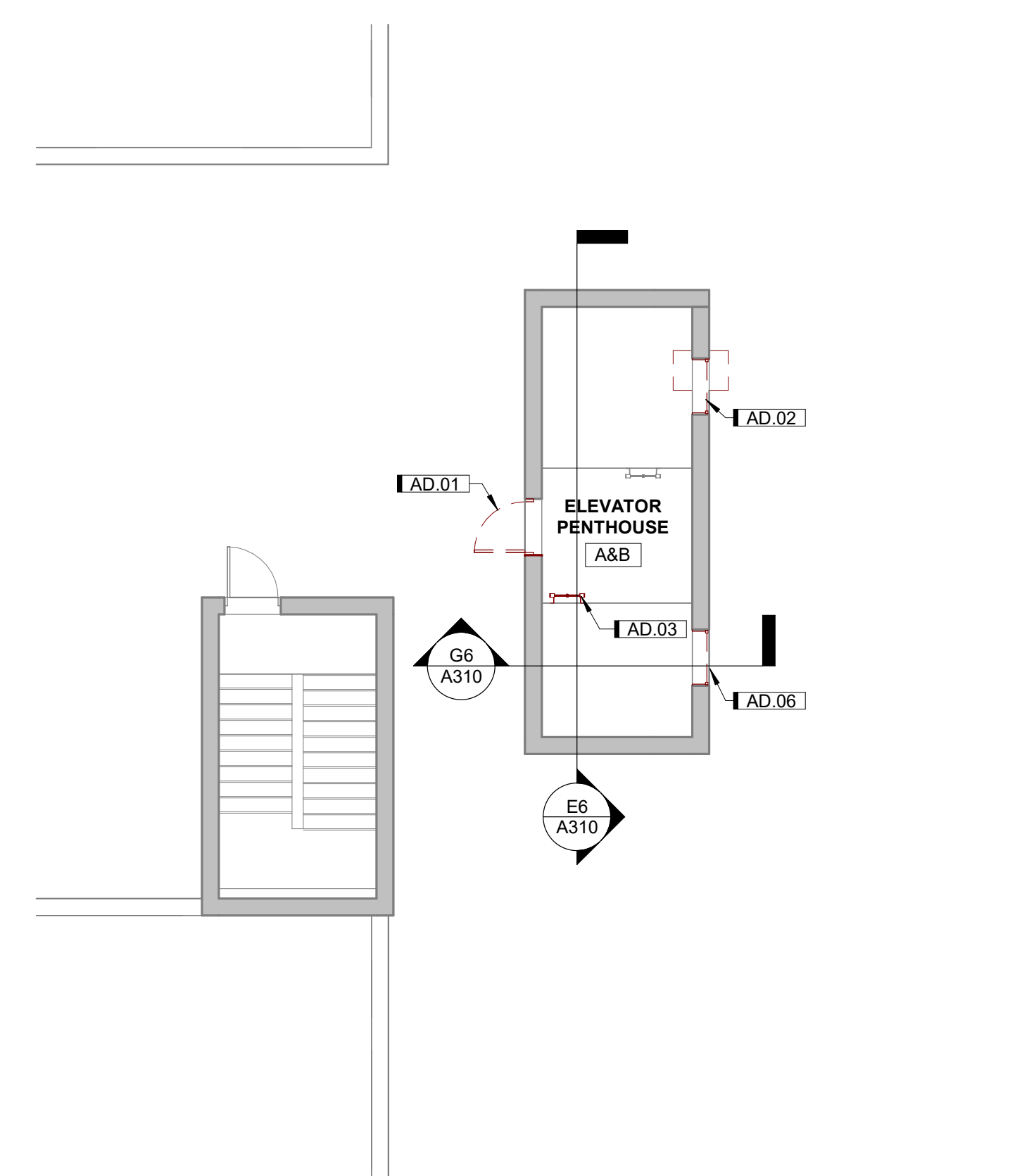
**E2** DEMO PHOTO 2  
NOT TO SCALE

REMOVE EXISTING EXTERIOR WINDOW FRAME, PATCH AND PREPARE OPENING FOR NEW WORK

REMOVE EXISTING WINDOW, PATCH AND PREPARE OPENING FOR NEW WORK



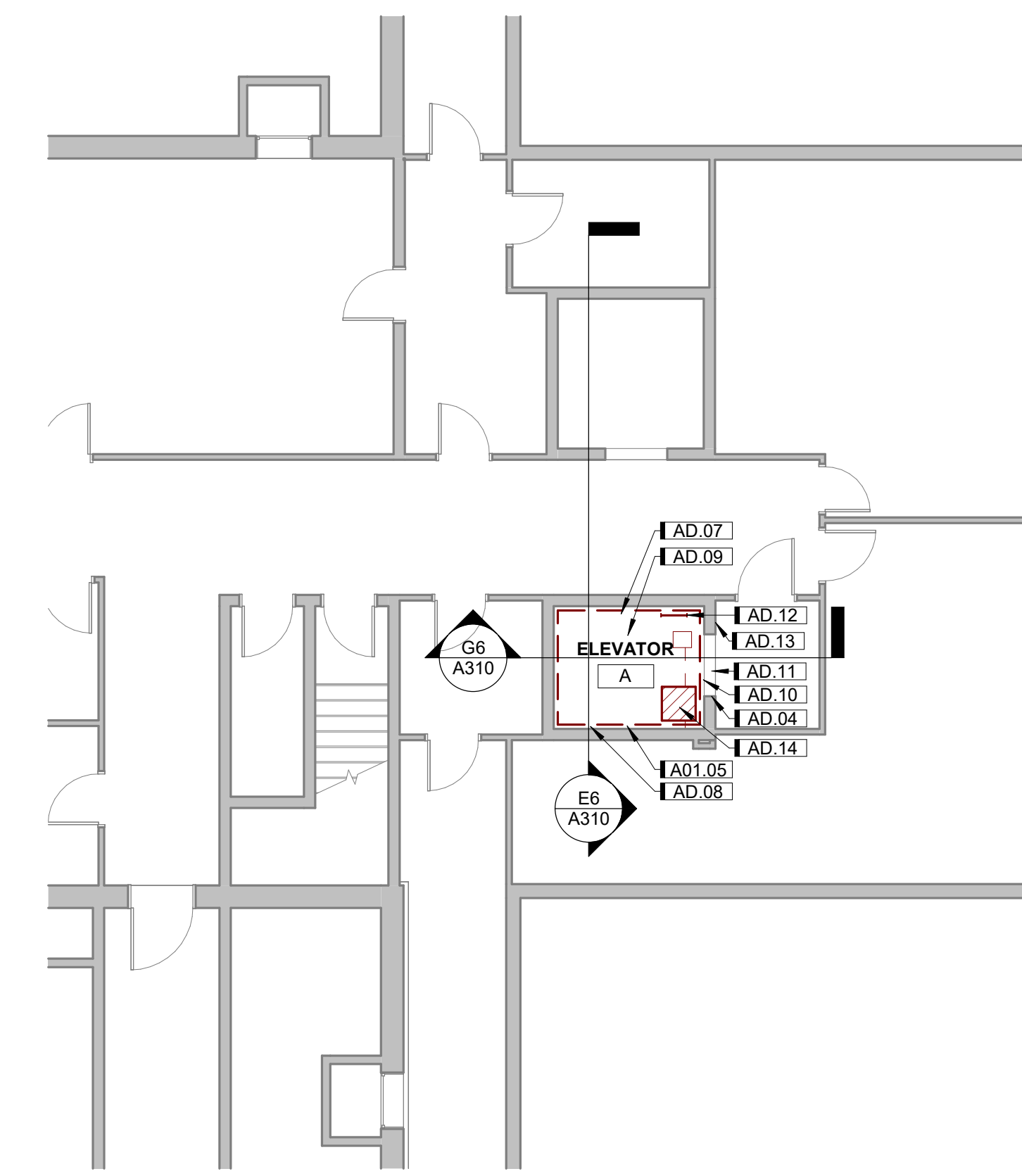
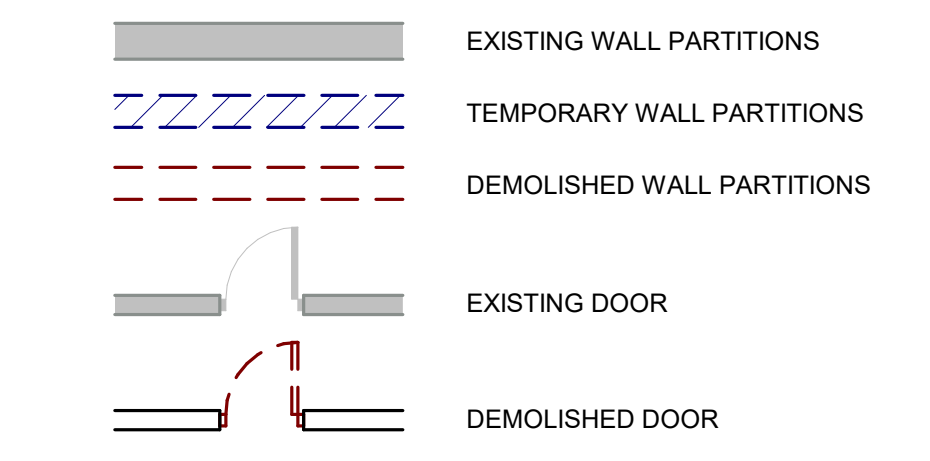
**4C** THIRD FLOOR - DEMOLITION PLAN  
1/8" = 1'-0" 0 12



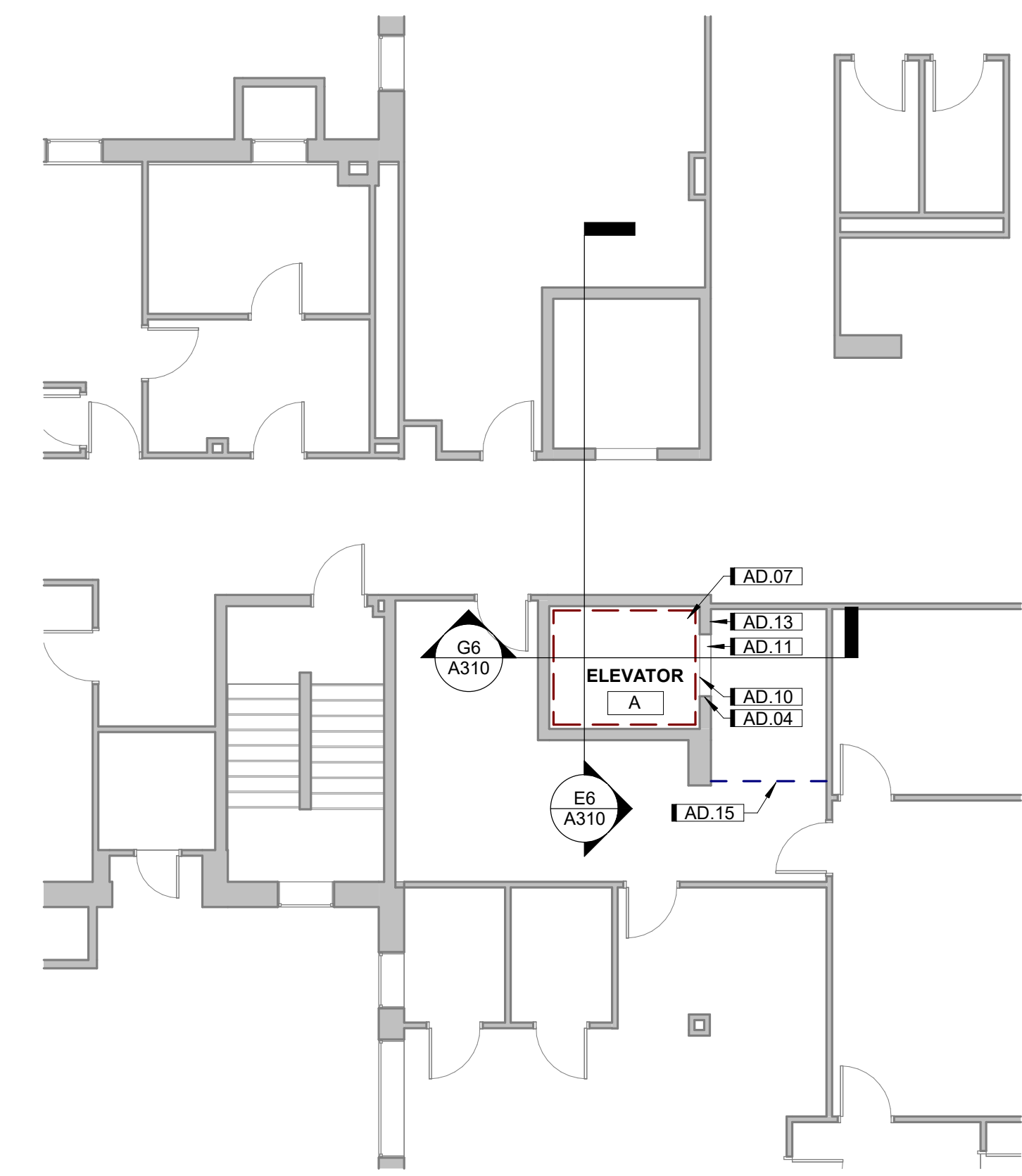
**4E** ROOF - DEMOLITION PLAN  
1/8" = 1'-0" 0 12

KEY	NOTE
AD.05	EXISTING GUIDE RAILS TO REMAIN. CLEAN AND REALIGN RAILS FOR SMOOTHNESS OF RIDE IN NEW ELEVATOR CAB
AD.01	REMOVE EXISTING EXTERIOR DOOR AND FRAME, PATCH AND PREPARE OPENING FOR NEW WORK
AD.02	REMOVE EXISTING EXTERIOR WINDOW FRAME, PATCH AND PREPARE OPENING FOR NEW WORK
AD.03	REMOVE EXISTING LADDER TO ELEVATOR PLATFORM
AD.04	EXISTING HOISTWAY ENTRANCES TO REMAIN, STRIP PAINT AND PREP SURFACE FOR NEW WORK
AD.05	EXISTING HOISTWAY ENTRANCES AND HOLLOW METAL FRAME TO REMAIN, STRIP PAINT AN PREP SURFACE FOR NEW WORK
AD.06	REMOVE EXISTING WINDOW, PATCH AND PREPARE OPENING FOR NEW WORK
AD.07	REMOVE EXISTING ELEVATOR CAB AND FRAME. SEE SPECIFICATIONS FOR FULL SCOPE OF WORK
AD.08	REMOVE EXISTING COUNTERWEIGHTS AND COUNTERWEIGHT ASSEMBLIES, SEE SPECIFICATION FOR FULL SCOPE OF WORK
AD.09	REMOVE EXISTING BUFFERS AND PIT CHANNELS, SEE SPECIFICATIONS FOR FULL SCOPE OF WORK
AD.10	REMOVE EXISTING HOISTWAY DOOR PANELS
AD.11	EXISTING THRESHOLD TO REMAIN, CLEAN
AD.12	REMOVE EXISTING LADDER TO ELEVATOR PIT
AD.13	REMOVE EXISTING KEY SWITCH OPERATOR, REPLACE WITH ADA COMPLIANT KEY SWITCH OPERATOR
AD.14	REMOVE FLOOR AS NEEDED FOR NEW SUMP PUMP
AD.15	TEMPORARY DUST PROTECTION
AD.16	TEMPORARY WALLS TO BE SUPPORTED FROM WALL JAMBS. PROTECT FLOOR AND CEILING AT TEMPORARY WALL LOCATIONS, TEMPORARY WALL ANCHORS ARE NOT ALLOWED TO CEILING OR FLOOR, WHERE JAMBS REQUIRE SUPPORT FROM A GLAZED BLOCK WALL. TEMPORARY ANCHORS TO BE MOUNTED IN MORTAR JOINTS

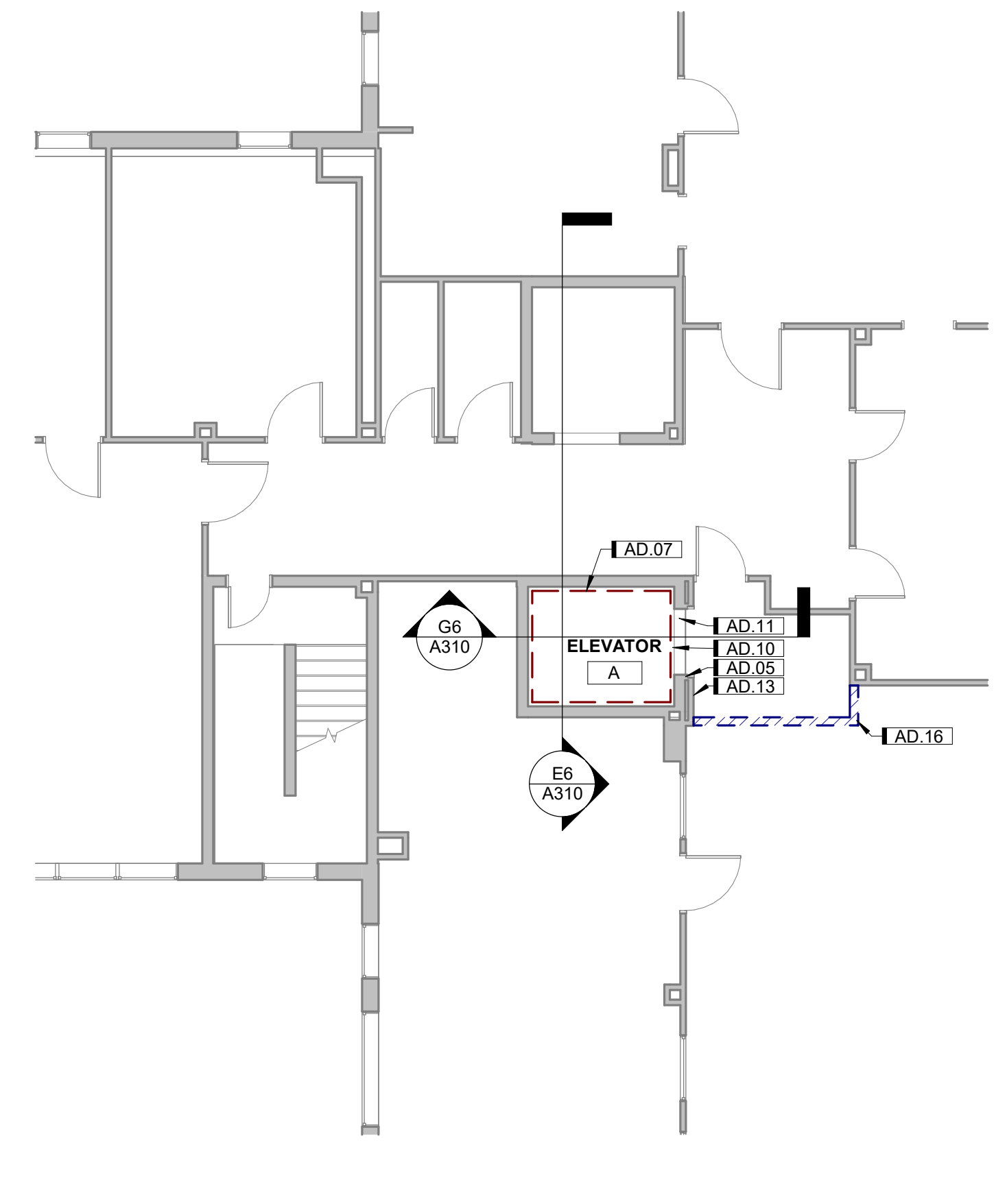
**DEMOLITION PLAN SYMBOLS LEGEND**



**6A** BASEMENT - DEMOLITION PLAN  
1/8" = 1'-0" 0 12



**6C** FIRST FLOOR - DEMOLITION PLAN  
1/8" = 1'-0" 0 12

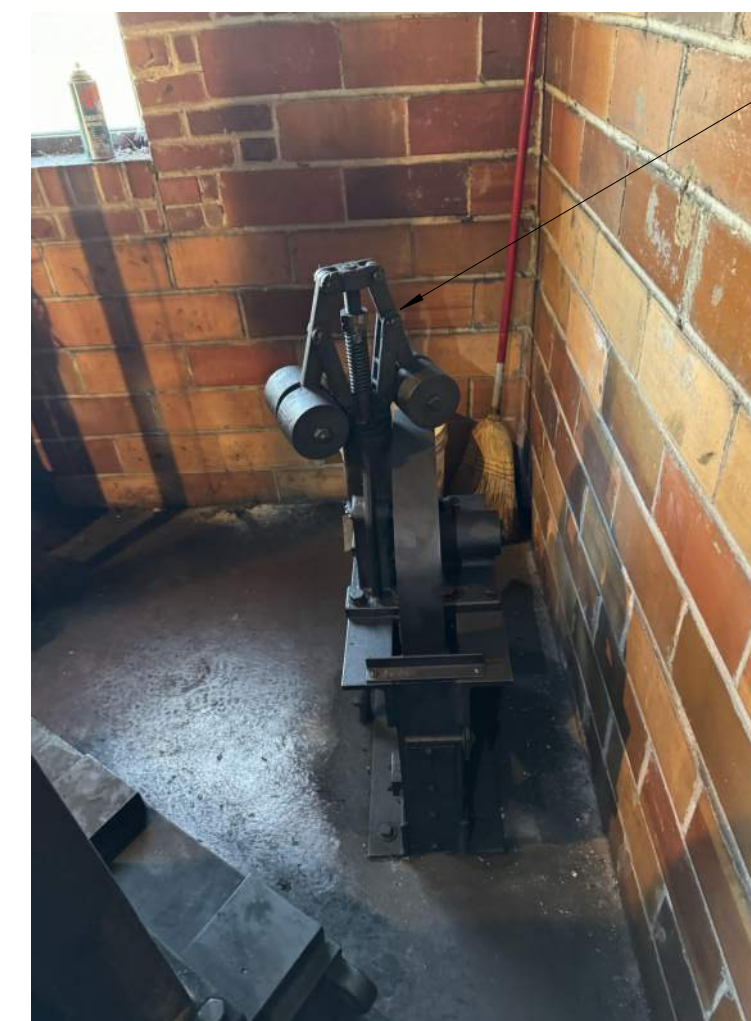


**6E** SECOND FLOOR - DEMOLITION PLAN  
1/8" = 1'-0" 0 12



REMOVE EXISTING CONTROLLER, MOTOR CONTROL, AND ASSOCIATED ITEMS FOR ELEVATOR A. SEE SPECIFICATIONS FOR FULL SCOPE OF WORK.

D2 DEMO PHOTO - ELEVATOR PENTHOUSE  
1" = 10'-0" 0 15'



REMOVE EXISTING GOVERNOR SYSTEM AND ASSOCIATED ITEMS FOR ELEVATOR A. SEE SPECIFICATIONS FOR FULL SCOPE OF WORK.

E2 DEMO PHOTO - ELEVATOR PENTHOUSE  
1" = 10'-0" 0 15'



G2 DEMO PHOTO - ELEVATOR PENTHOUSE  
1" = 10'-0" 0 15'



REMOVE EXISTING FLOOR SELECTOR AND ASSOCIATED ITEMS FOR ELEVATOR A. SEE SPECIFICATIONS FOR FULL SCOPE OF WORK.

A3 DEMO PHOTO 9 - ELEVATOR PENTHOUSE  
NOT TO SCALE



REMOVE EXISTING DOOR CONTROLLER AND ASSOCIATED ITEMS FOR ELEVATOR A. SEE SPECIFICATIONS FOR FULL SCOPE OF WORK.

B3 DEMO PHOTO 10 - ELEVATOR PENTHOUSE  
NOT TO SCALE



REMOVE EXISTING CONTROL SYSTEM, MOTOR CONTROL, AND ASSOCIATED ITEMS FOR ELEVATOR A. SEE SPECIFICATIONS FOR FULL SCOPE OF WORK.

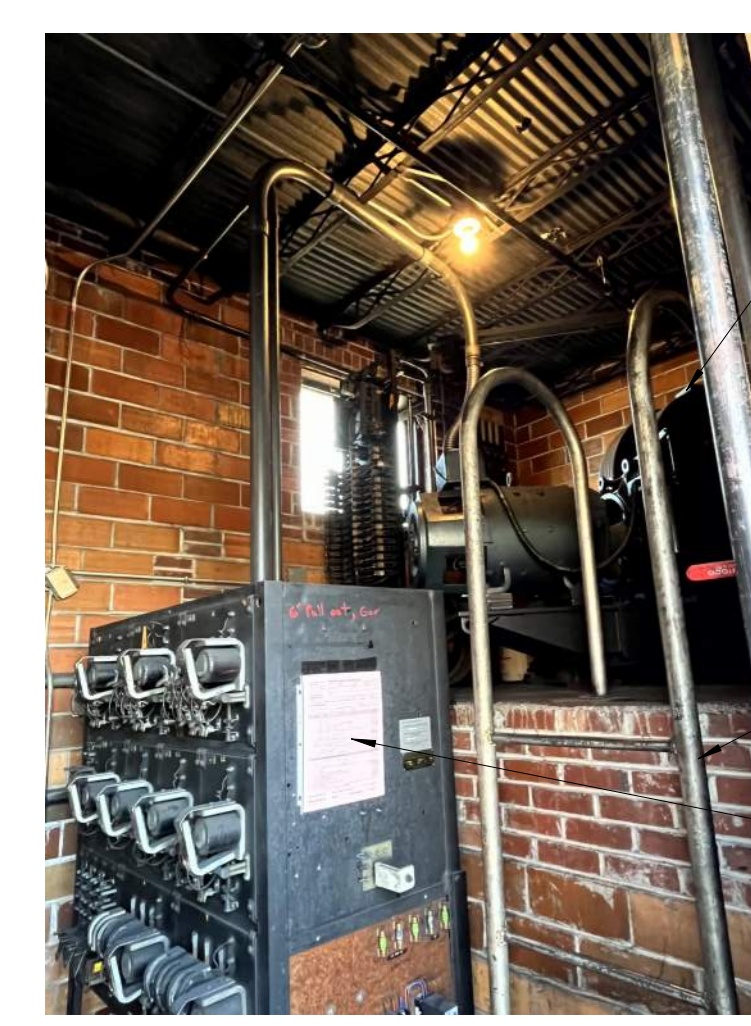
D3 DEMO PHOTO - ELEVATOR PENTHOUSE  
NOT TO SCALE

REMOVE EXISTING MOTOR GENERATOR SET AND ASSOCIATED ITEMS FOR ELEVATOR A. SEE SPECIFICATIONS FOR FULL SCOPE OF WORK.



REMOVE EXISTING LADDER TO ELEVATOR A PLATFORM. PATCH FLOOR ON BOTH LEVELS.

E3 DEMO PHOTO - ELEVATOR PENTHOUSE  
NOT TO SCALE

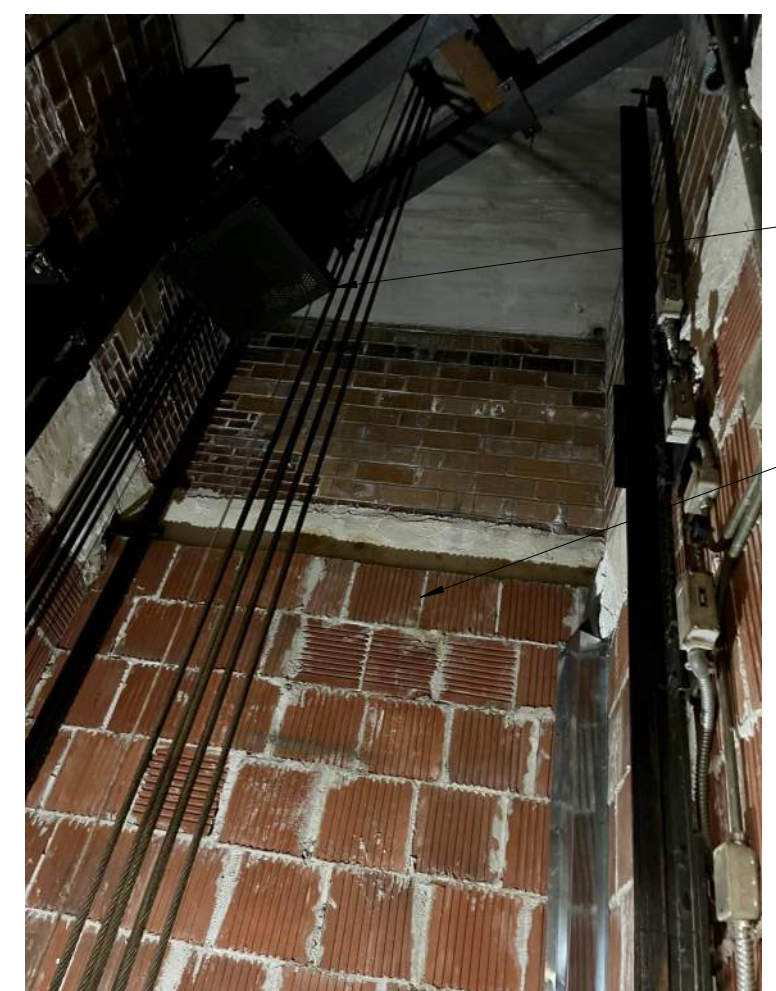


REMOVE DRIVE MACHINES AND ASSOCIATED ITEMS FOR ELEVATOR A. SEE SPECIFICATIONS FOR FULL SCOPE OF WORK.

REMOVE EXISTING LADDER TO ELEVATOR A PLATFORM. PATCH FLOOR ON BOTH LEVELS.

REMOVE EXISTING CONTROLLER, MOTOR CONTROL, AND ASSOCIATED ITEMS FOR ELEVATOR A. SEE SPECIFICATIONS FOR FULL SCOPE OF WORK.

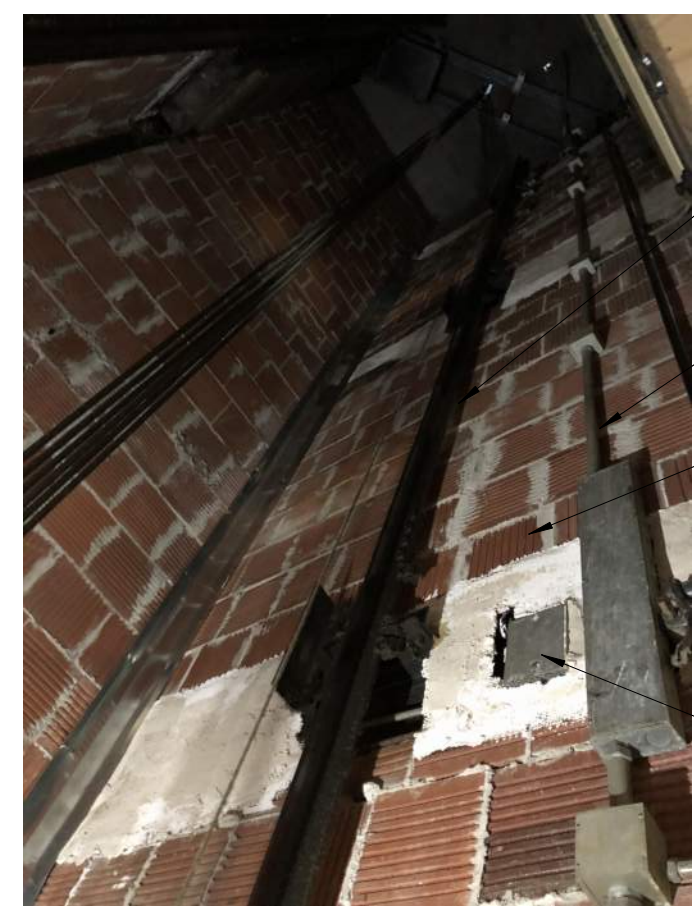
G3 DEMO PHOTO - ELEVATOR PENTHOUSE  
NOT TO SCALE



REMOVE DEFLECTOR SHEAVE

PATCH OPENINGS IN SHAFT WALLS WITH LIKE MATERIALS OR FIRESTOP SYSTEM TO MAINTAIN THE REQUIRED 2-HR RATING

A5 DEMO PHOTO - ELEVATOR SHAFT  
NOT TO SCALE



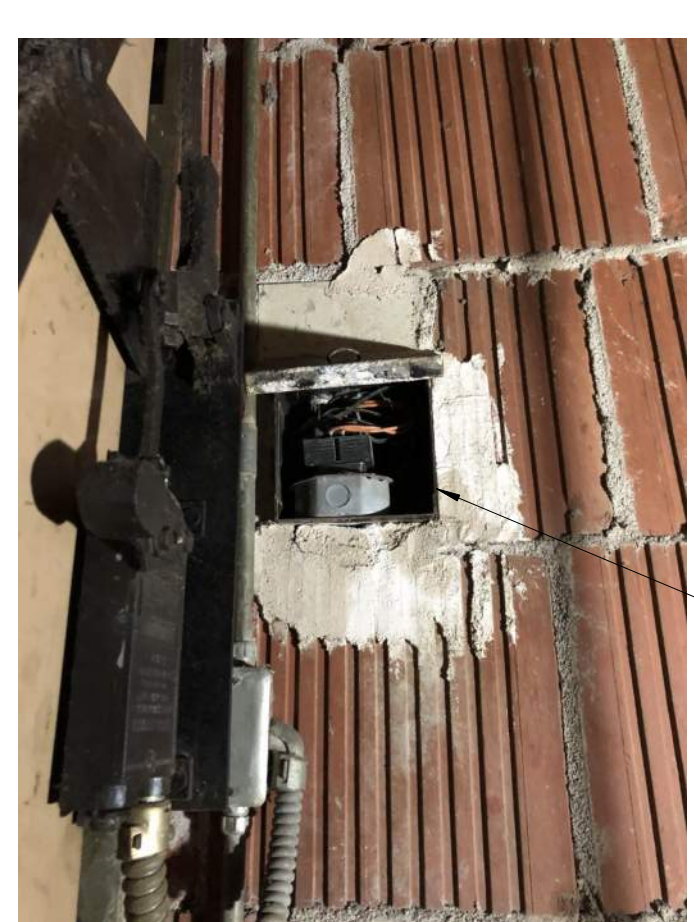
EXISTING GUIDE RAILS TO REMAIN. CLEAN AND REALIGN RAILS FOR SMOOTHNESS OF RIDE IN NEW ELEVATOR CAB

REMOVE CONDUIT AS NECESSARY TO MEET NEW WIRING REQUIREMENTS

PATCH OPENINGS IN SHAFT WALLS WITH LIKE MATERIALS OR FIRESTOP SYSTEM TO MAINTAIN THE REQUIRED 2-HR RATING

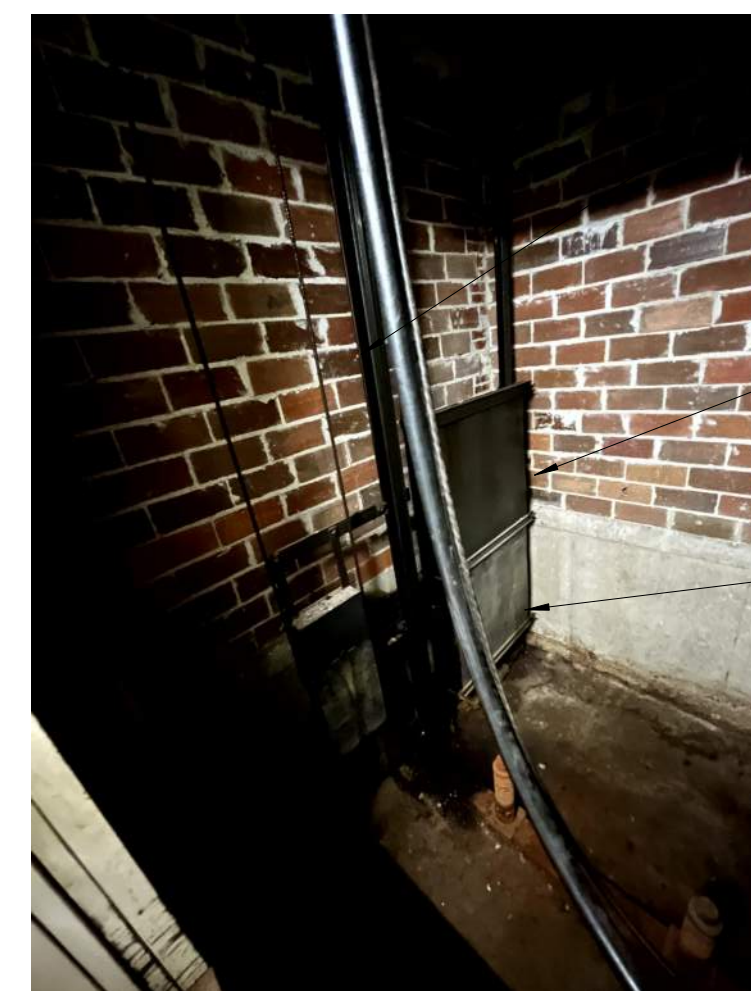
REMOVE ELECTRICAL BOX, PATCH OPENINGS IN SHAFT WALLS WITH LIKE MATERIALS OR FIRESTOP SYSTEM TO MAINTAIN THE REQUIRED 2-HR RATING

B5 DEMO PHOTO - ELEVATOR SHAFT  
NOT TO SCALE



REMOVE ELECTRICAL BOX, PATCH OPENINGS IN SHAFT WALLS WITH LIKE MATERIALS OR FIRESTOP SYSTEM TO MAINTAIN THE REQUIRED 2-HR RATING

D5 DEMO PHOTO - ELEVATOR SHAFT  
NOT TO SCALE

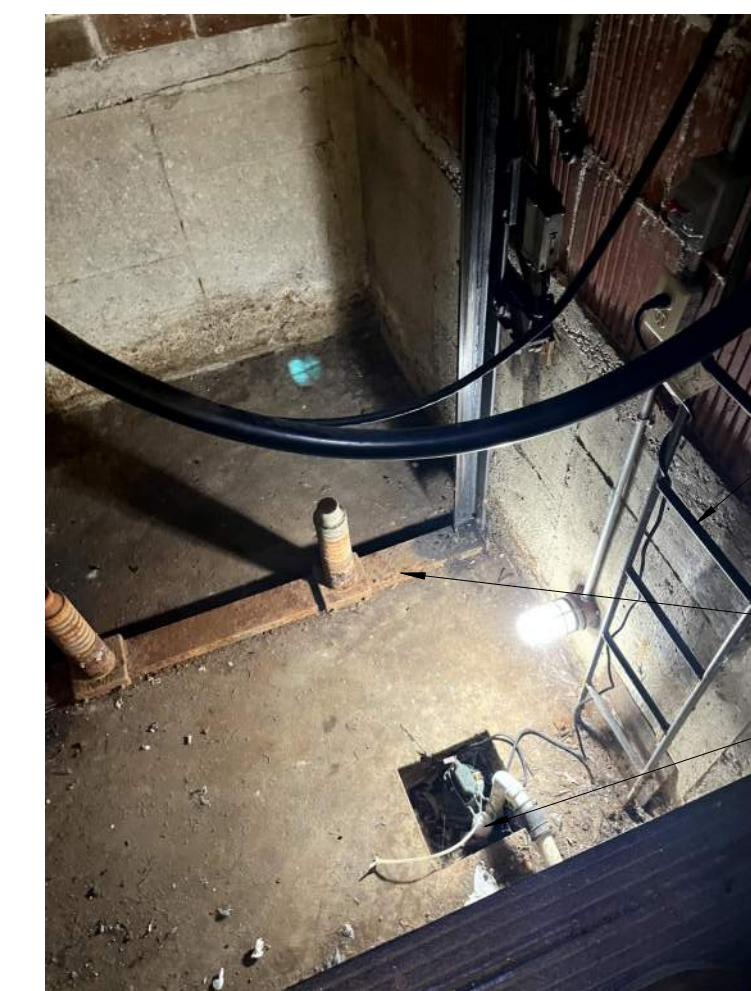


EXISTING GUIDE RAILS TO REMAIN. CLEAN AND REALIGN RAILS FOR SMOOTHNESS OF RIDE IN NEW ELEVATOR CAB

REMOVE EXISTING COUNTERWEIGHTS AND COUNTERWEIGHT ASSEMBLIES. SEE SPECIFICATION FOR FULL SCOPE OF WORK

REMOVE EXISTING COUNTERWEIGHT GUARD. SEE SPECIFICATION FOR FULL SCOPE OF WORK

E5 DEMO PHOTO - ELEVATOR PIT  
NOT TO SCALE

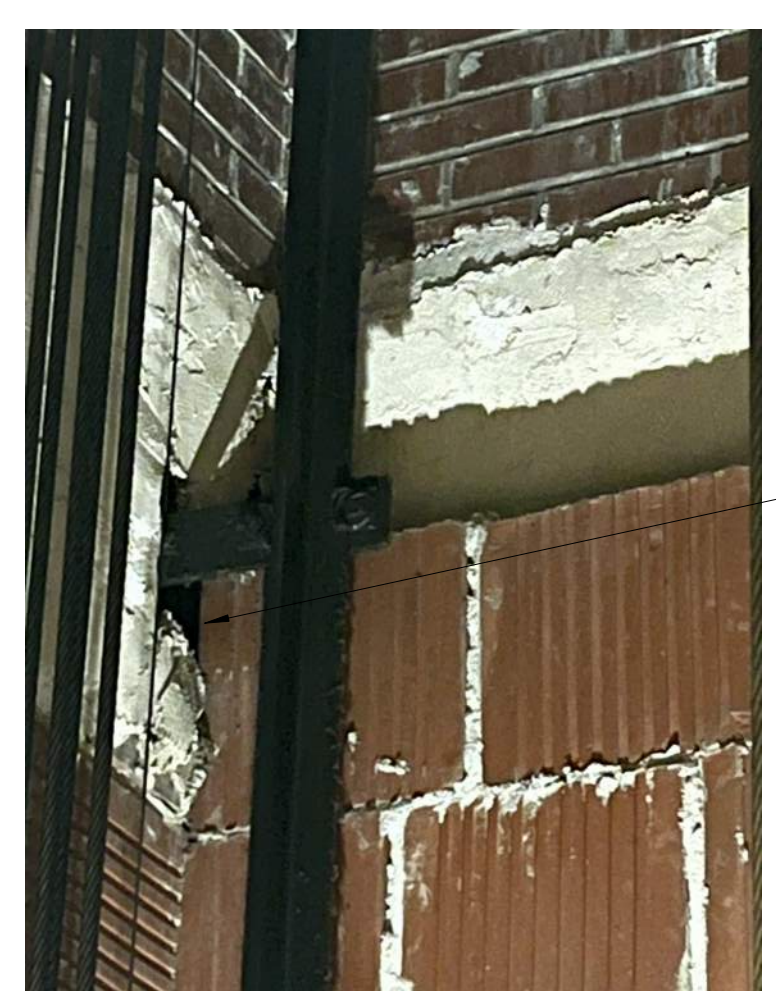


REMOVE EXISTING PIT LADDER. REPLACE WITH NEW PIT LADDER

REMOVE EXISTING BUFFERS AND PIT CHANNELS. SEE SPECIFICATIONS FOR FULL SCOPE OF WORK

REMOVE EXISTING SUMP PUMP. SEE MECHANICAL DRAWINGS

G5 DEMO PHOTO - ELEVATOR PIT  
NOT TO SCALE



PATCH OPENINGS IN SHAFT WALLS WITH LIKE MATERIALS OR FIRESTOP SYSTEM TO MAINTAIN THE REQUIRED 2-HR RATING

A6 DEMO PHOTO - ELEVATOR SHAFT  
NOT TO SCALE



SALVAGE FLOOR INDICATOR PLATE. TO BE REINSTALLED WITH NEW ELECTRICAL WORK, TYPICAL FOR ALL FLOORS

REMOVE EXISTING HOISTWAY DOOR PANELS, TYPICAL FOR ALL FLOORS

EXISTING HOISTWAY ENTRANCES AND HOLLOW METAL FRAME TO REMAIN. STRIP PAINT AND PREP SURFACE FOR NEW WORK, TYPICAL FOR ALL FLOORS

B6 DEMO PHOTO 7  
NOT TO SCALE



REMOVE EXISTING HOISTWAY DOOR PANELS

REMOVE EXISTING ELEVATOR CAB AND FRAME. SEE SPECIFICATIONS FOR FULL SCOPE OF WORK

EXISTING HOISTWAY ENTRANCES AND HOLLOW METAL FRAME TO REMAIN. STRIP PAINT AND PREP SURFACE FOR NEW WORK, TYPICAL FOR ALL FLOORS

EXISTING THRESHOLD TO REMAIN, CLEAN, TYPICAL FOR ALL FLOORS

E6 DEMO PHOTO 6  
NOT TO SCALE



REMOVE EXISTING HOISTWAY DOOR PANELS, TYPICAL FOR ALL FLOORS

EXISTING HOISTWAY ENTRANCES AND HOLLOW METAL FRAME TO REMAIN. STRIP PAINT AND PREP SURFACE FOR NEW WORK, TYPICAL FOR ALL FLOORS

REMOVE EXISTING KEY SWITCH OPERATOR. REPLACE WITH ADA COMPLIANT KEY SWITCH OPERATOR

EXISTING THRESHOLD TO REMAIN, CLEAN, TYPICAL FOR ALL FLOORS

G6 DEMO PHOTO 17  
NOT TO SCALE

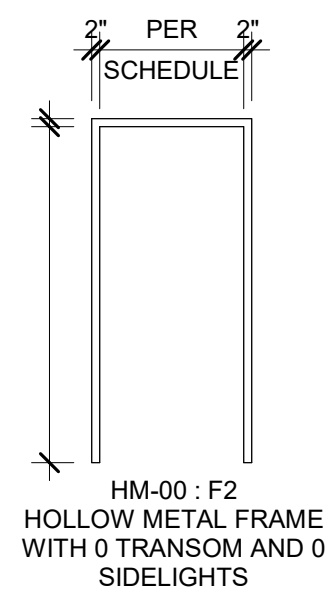
DRAWN BY	RCB	CLM
APPROVED BY		
BIDDING		
ISSUED FOR	04/25/2024	
ISSUE DATE		
PROJECT NUMBER	2142305450	
FIELD BOOK		

DOOR AND FRAME SCHEDULE											
MARK	ROOM NAME	OPENING SIZE		THICKNESS	DOOR		FRAME		HDWR	RATING	REMARKS
		WIDTH	HEIGHT		TYPE	MATERIAL	TYPE	FINISH			
500	ELEVATOR PENTHOUSE	3'-0"	7'-0"	1 3/4"	F	HM	HM-00 - F2	PAINT	HW-1	90 MIN	FIELD VERIFY EXISTING OPENING DIMENSIONS

DOOR HARDWARE BASIS-OF-DESIGN

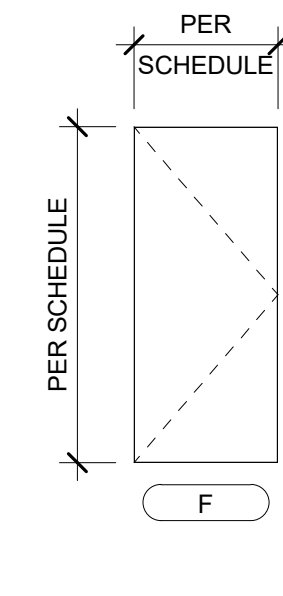
HARDWARE SET HW-1

- HINGES (HAGER BB 1279 4 1/2" X 4 1/2")
- LOCKSET (SCHLAGE ND-SERIES GRADE 1)
- CLOSER (NORTON CPS7500)
- STOPS (NORTON 891)
- THRESHOLD (PEMCO 171A OR MFR'S EQUAL)
- WEATHERSTRIP (PEMCO 303AV)
- BOTTOM SWEEP (PEMCO 315CN)
- DRIP CAP (PEMCO 346C)
- LATCH PROTECTOR (ROCKWOOD 320/321)



DOOR FRAME ELEVATIONS

1/4" = 1'-0" 0' 6'



DOOR PANEL ELEVATIONS

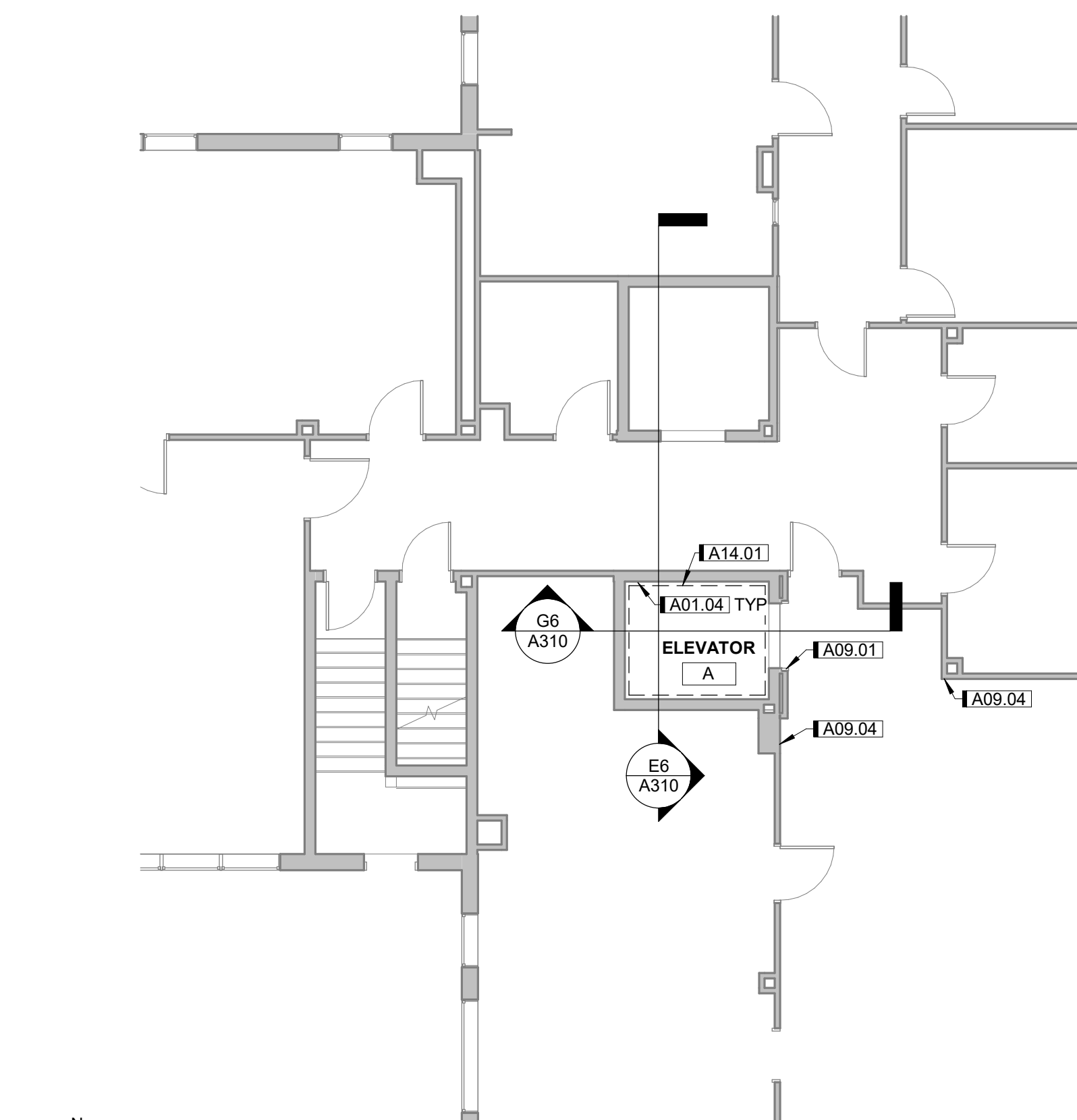
1/4" = 1'-0" 0' 6'

FLOOR PLAN NOTES

- REFER TO DRAWINGS OF ALL TRADES FOR ADDITIONAL INFORMATION REGARDING ITEMS PENETRATING FLOORS, WALLS, AND CEILING.
- EXISTING ELEVATOR SHAFT WALLS ARE CONSIDERED TO HAVE A 2-HR FIRE RATING.

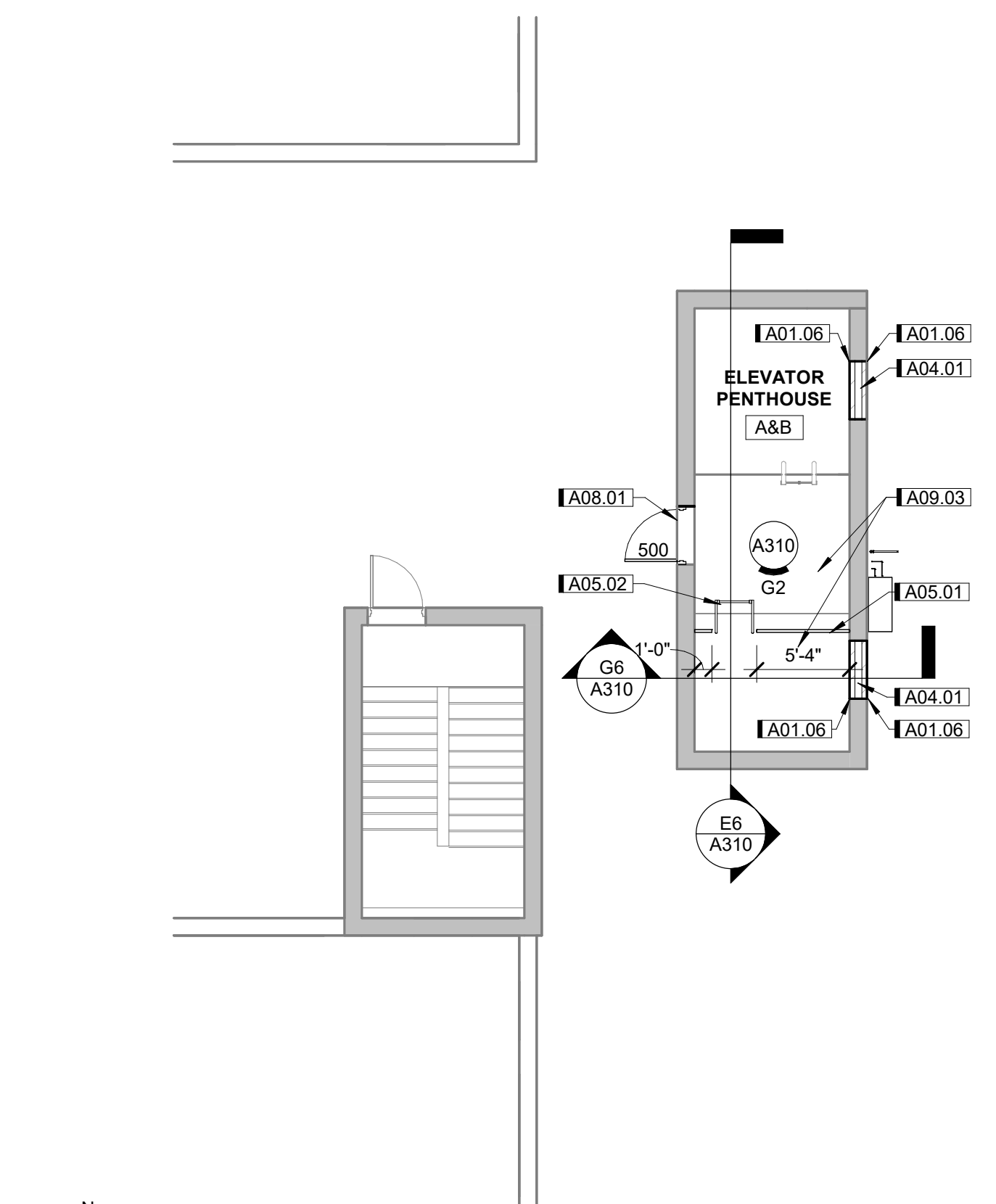
KEYNOTES

KEY	NOTE
A01.04	PATCH OPENINGS IN SHAFT WALLS WITH LIKE MATERIALS (I.E. SOLID CLAY BRICK PAVER WITH MINIMUM EQUIVALENT THICKNESS FOR FIRE RESISTANCE OF 2 HOURS) OR APPROVED FIRESTOP SYSTEM TO MAINTAIN THE REQUIRED 2-HR RATING. ASSUME TEN (10) 12" X 12" OPENINGS TO BE INCLUDED IN PROJECT SCOPE. SEE SPECIFICATIONS FOR REQUIREMENTS TO PROVIDE A UNIT PRICE FOR ADDITIONAL OPENINGS.
A01.06	ALIGN
A03.01	PATCH FLOOR AROUND NEW SUMP PUMP
A03.02	INFILL CONCRETE FLOOR AT REMOVED SUMP PUMP WITH CONCRETE SLAB REINFORCED WITH 6X6XW2.5XW2.5 WWR ON 6" COMPACTED GRANULAR FILL. DOWEL AND EPOXY 4" INTO EXISTING SLAB WITH #4 BARS AT 12" O.C.
A04.01	FACE BRICK INFILL. FACE BRICK PROVIDED BY OWNER
A05.01	GUARDRAIL FASTEN TO FLOOR SLAB WITH 3/8" Ø THREADED RODS AND SIMPSON SET-3G EPOXY (2 1/2" EMBED). USE SIMPSON OPT-MESH SCREEN TUBES IF HOLE PENETRATES FLOOR COMPLETELY.
A05.02	PREFABRICATED LADDER. FASTEN TO FLOOR SLAB SAME AS GUARDRAIL. FASTEN TO BRICK WITH 3/8" Ø THREADED RODS AND SIMPSON E1-3G EPOXY (3 1/2" EMBED).
A08.01	NEW 90-MIN RATED HOLLOW METAL DOOR AND FRAME
A09.01	PAINT EXISTING METAL FRAME AT ELEVATOR DOOR OPENING
A09.02	PAINT ELEVATOR PIT FLOOR
A09.03	PAINT ELEVATOR PENTHOUSE FLOOR AND PLATFORM FLOOR FOR ELEVATOR A
A09.04	PATCH AND REPAIR TEMPORARY WALL ANCHOR LOCATIONS ON EXISTING WALLS TO MATCH EXISTING FINISHES
A14.01	NEW ELEVATOR CAB
A14.02	NEW ELEVATOR PIT LADDER PER ELEVATOR MANUFACTURER



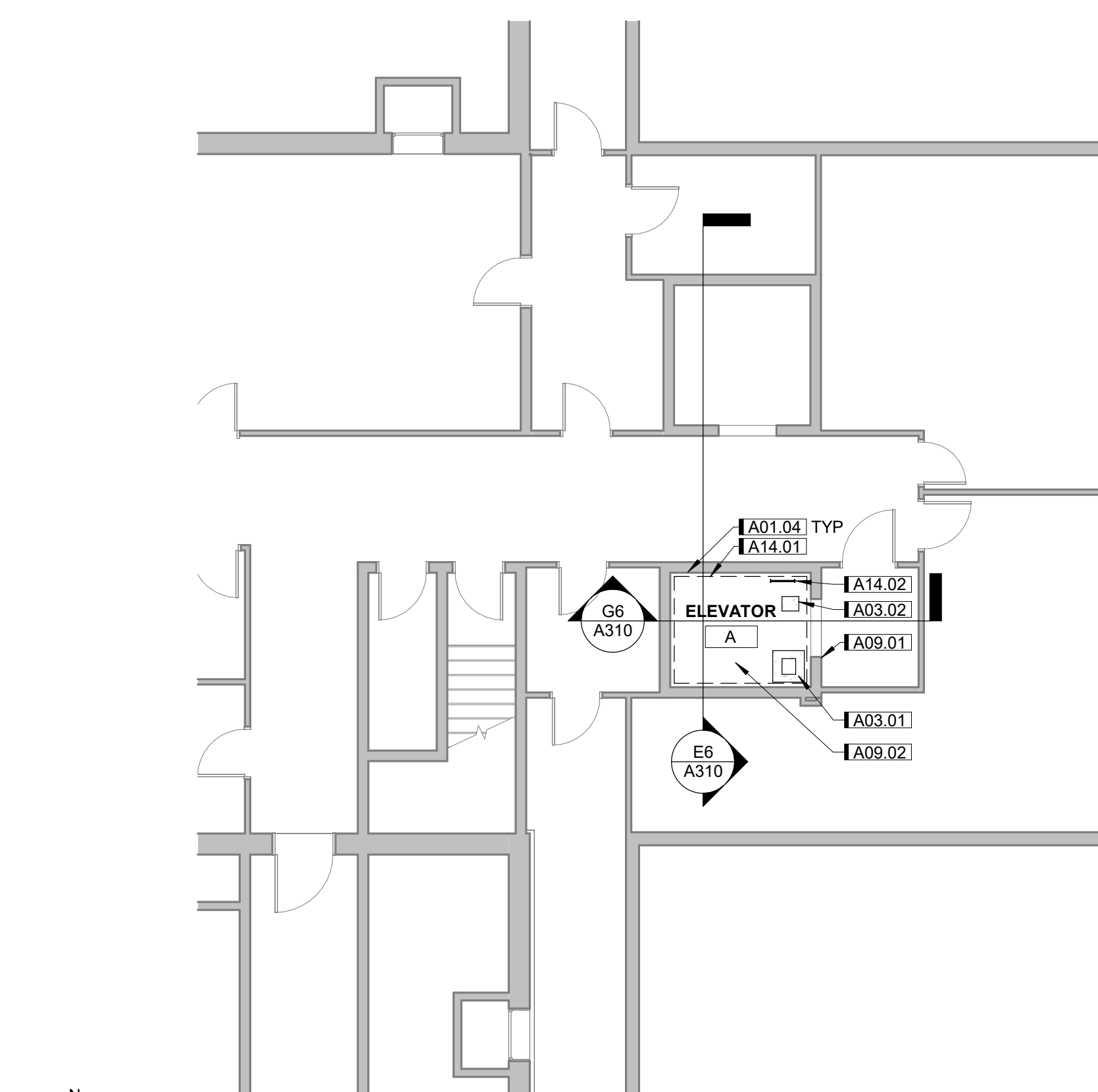
THIRD FLOOR-FLOOR PLAN

1/8" = 1'-0" 0' 12'



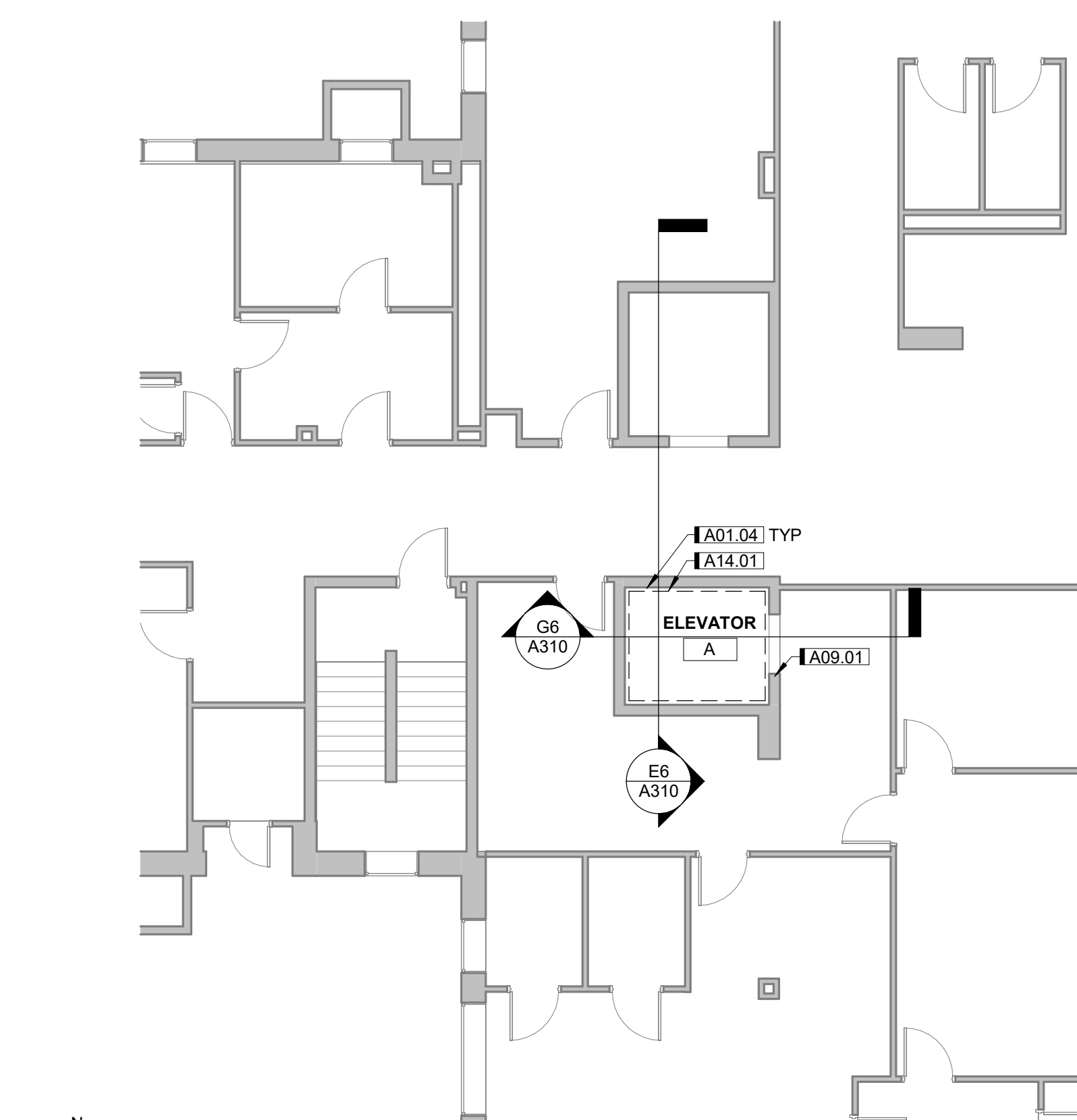
ROOF PLAN

1/8" = 1'-0" 0' 12'



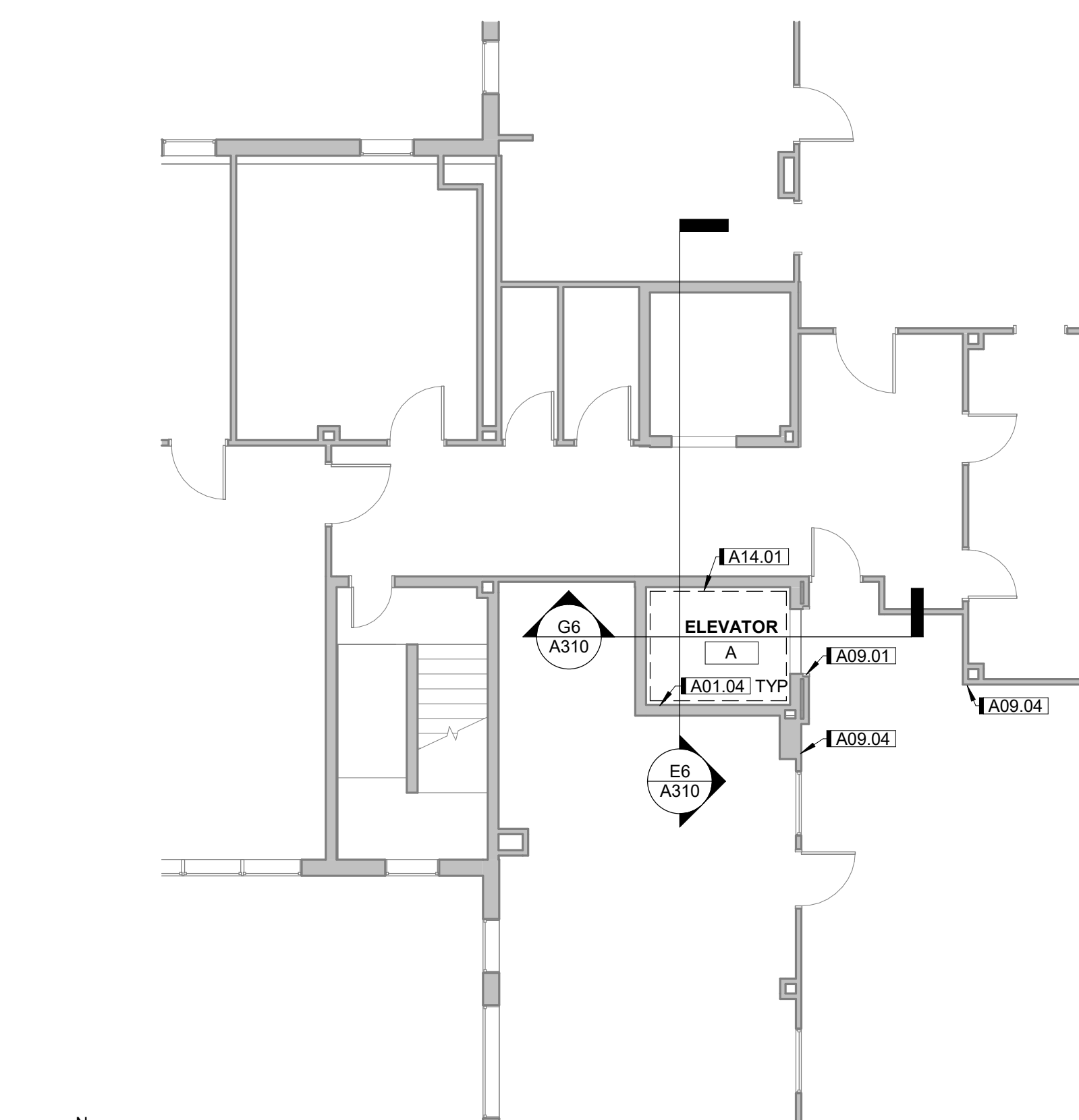
BASEMENT-FLOOR PLAN

1/8" = 1'-0" 0' 12'



FIRST FLOOR PLAN

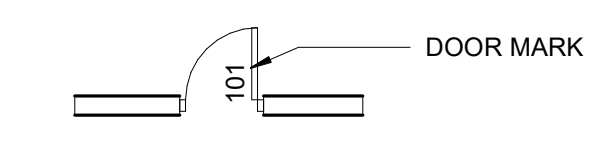
1/8" = 1'-0" 0' 12'



SECOND FLOOR PLAN

1/8" = 1'-0" 0' 12'

FLOOR PLAN SYMBOLS LEGEND



IIA DAS - DOC MPCF Bldg 20 Elevator Rep

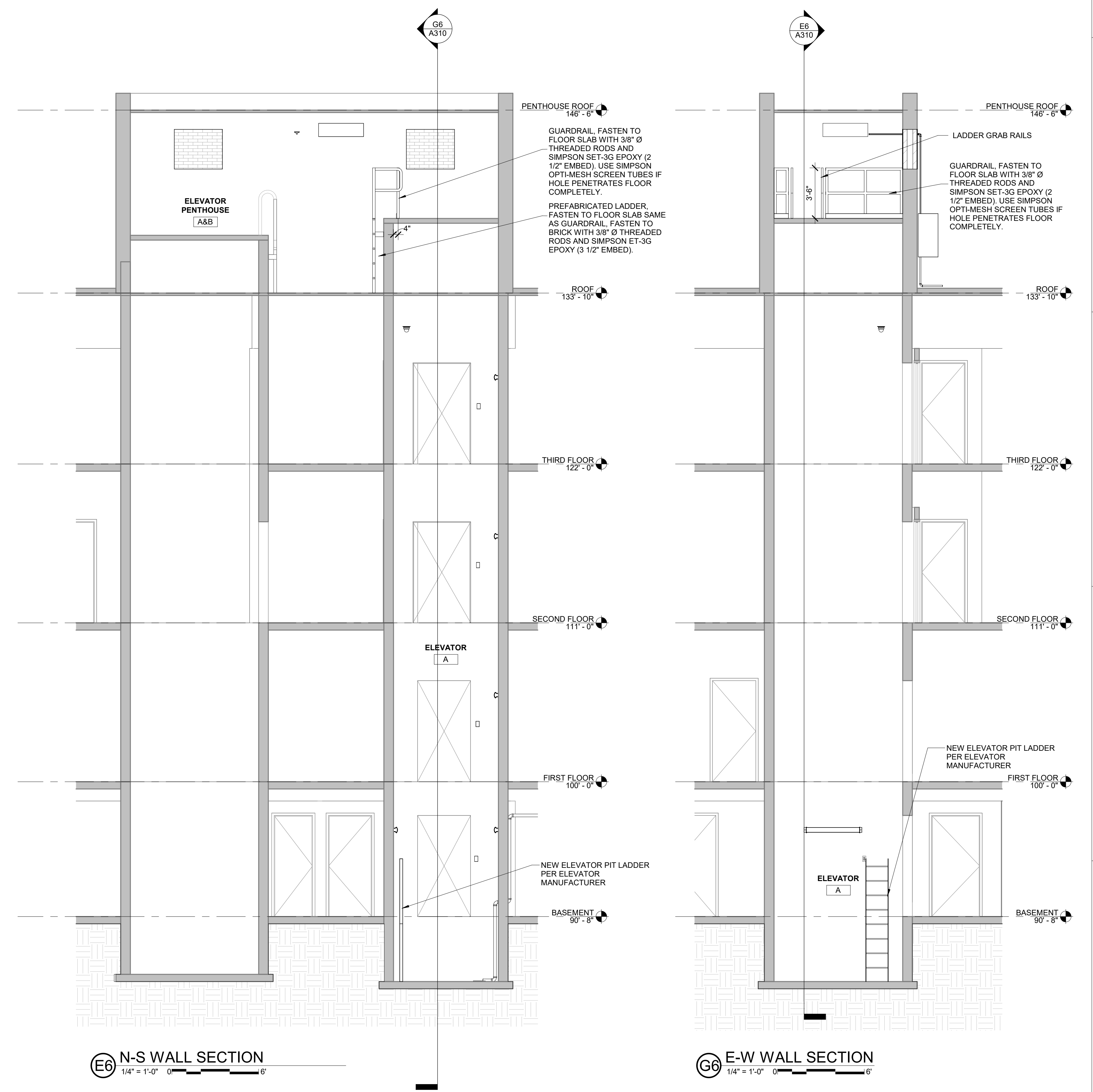
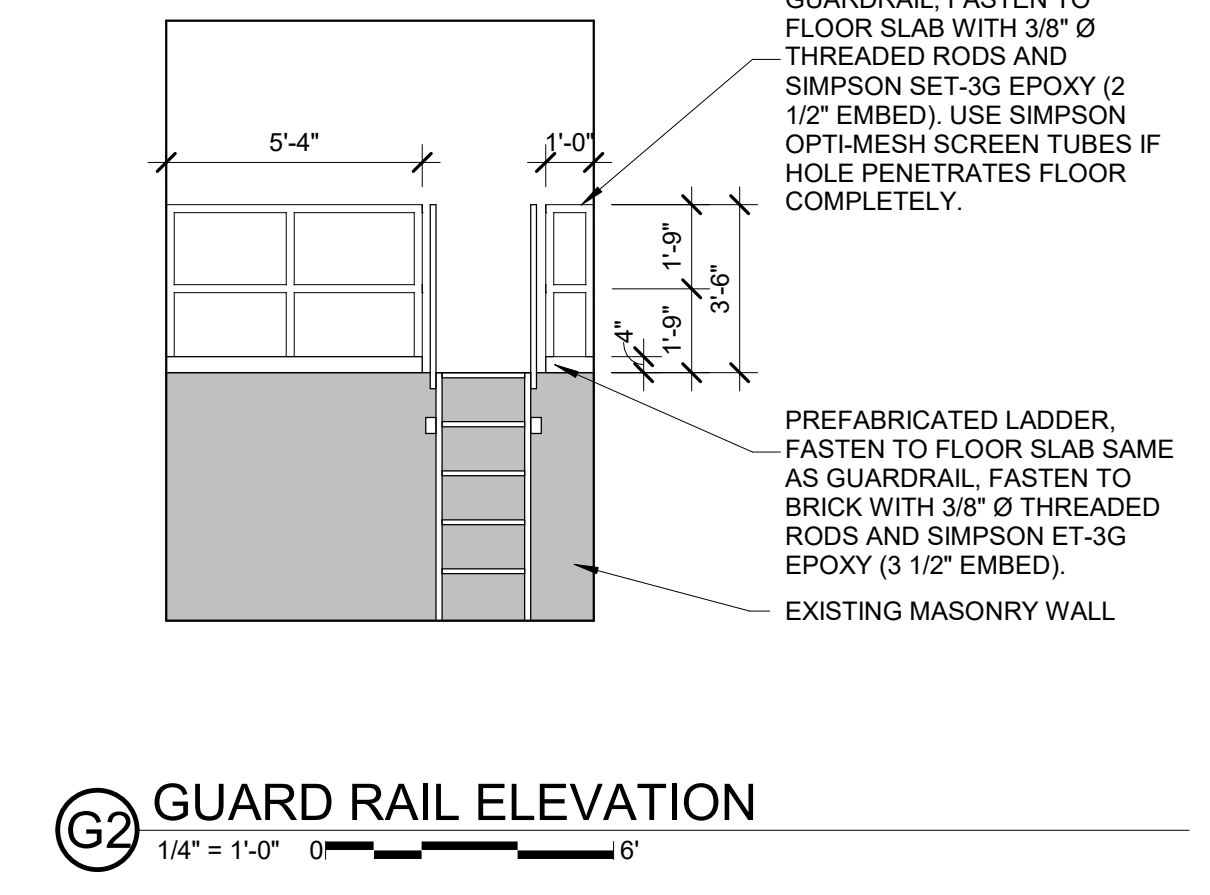
Iowa Department of Administrative Services  
CLIENT PROJECT NUMBER: DAS # 5801.00  
1200 E Washington St, Mt Pleasant, IA 52641

DRAWN BY	RCB	CLM
APPROVED BY		
ISSUED FOR	BIDDING	04/25/2024
ISSUE DATE		
PROJECT NUMBER	214295450	Field Book
FIELD BOOK		

FLOOR PLANS

A101

DRAWN BY	RCB	CLM
APPROVED BY	BIDDING	
ISSUED FOR	04/25/2024	
ISSUE DATE	2142305450	
PROJECT NUMBER		Field Book
FIELD BOOK		





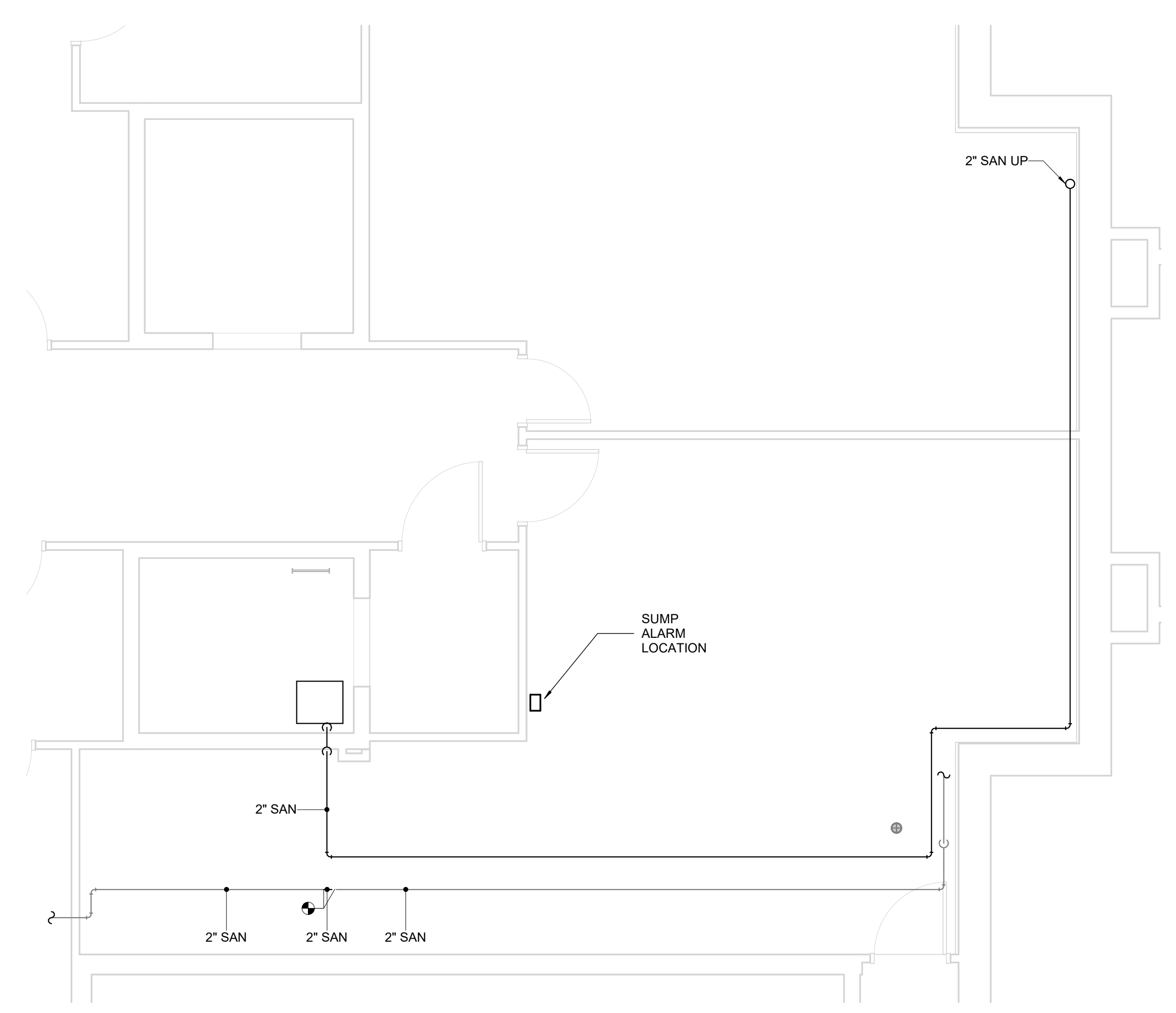


KEYNOTES	
KEY	NOTE
P01	NEW COWTONGUE FITTING, 18" ABOVE GRADE. DISCHARGE ONTO NEW SPLASHPAD

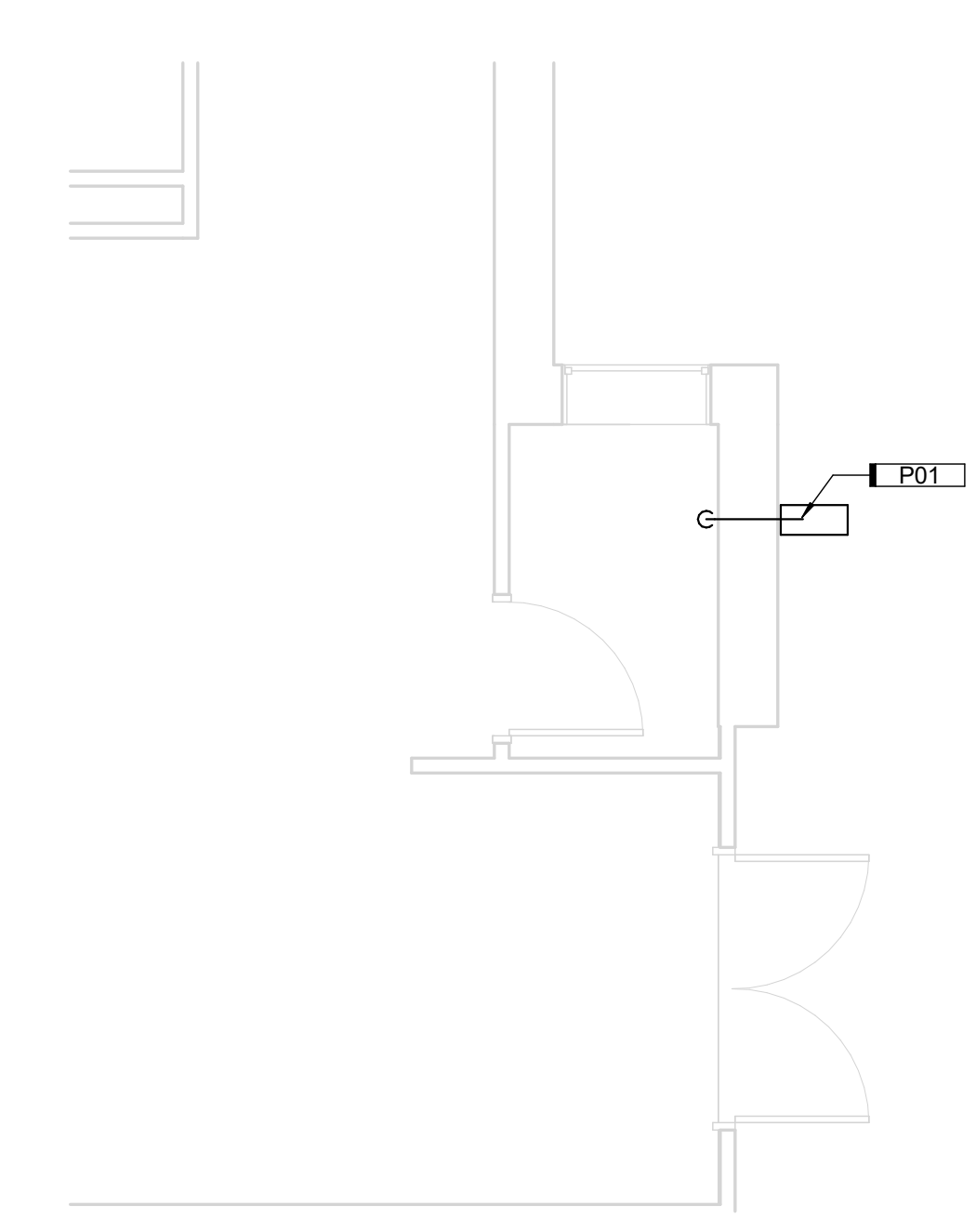
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MECHANICAL  
PLAN

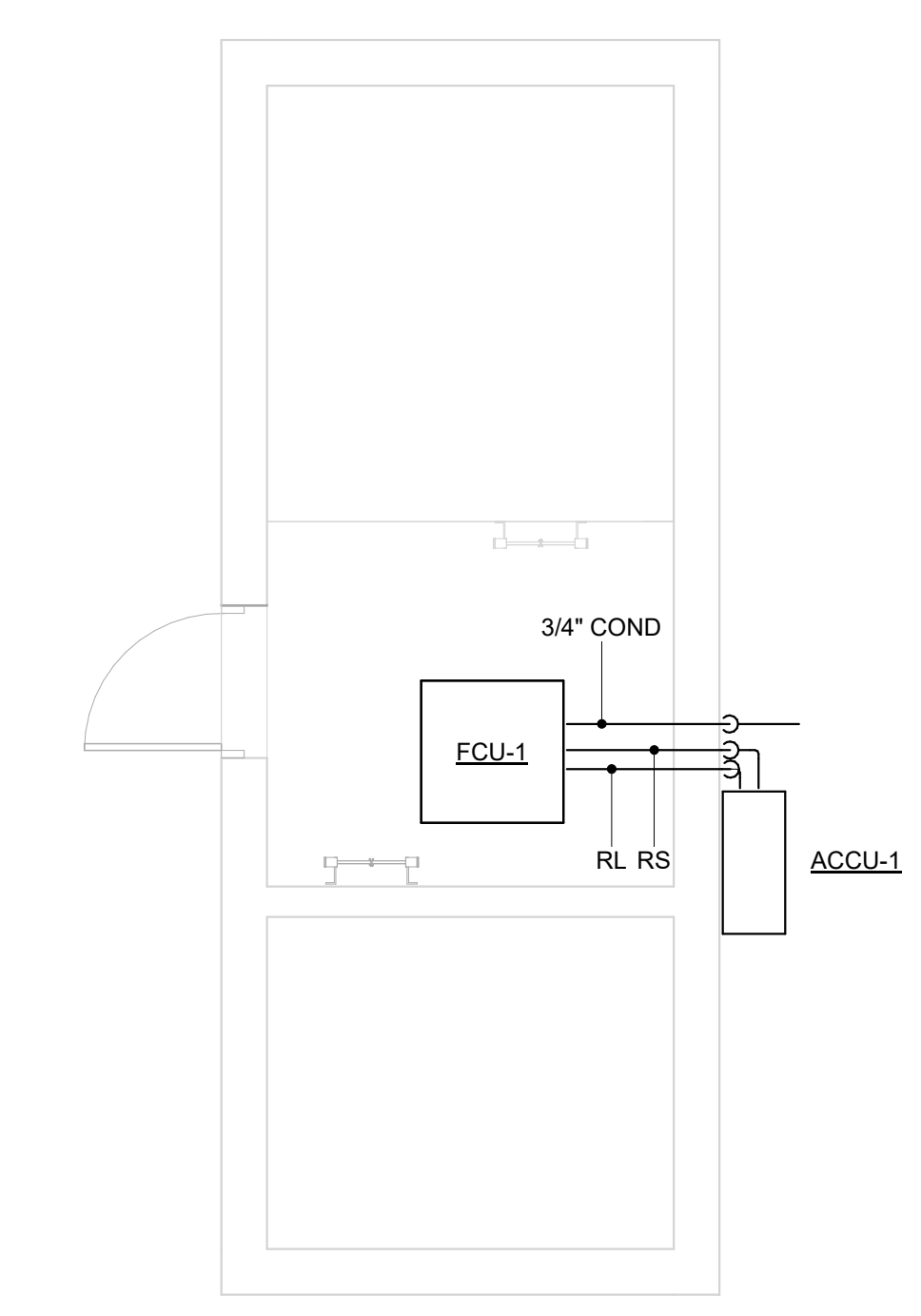
M100



**C6** BASEMENT NEW CONSTRUCTION SSV PLAN  
1/4" = 1'-0" 0' 6"



**F4** FIRST FLOOR NEW CONSTRUCTION SSV PLAN  
1/4" = 1'-0" 0' 6"



**F6** ROOF NEW CONSTRUCTION MECHANICAL PLAN  
1/4" = 1'-0" 0' 6"

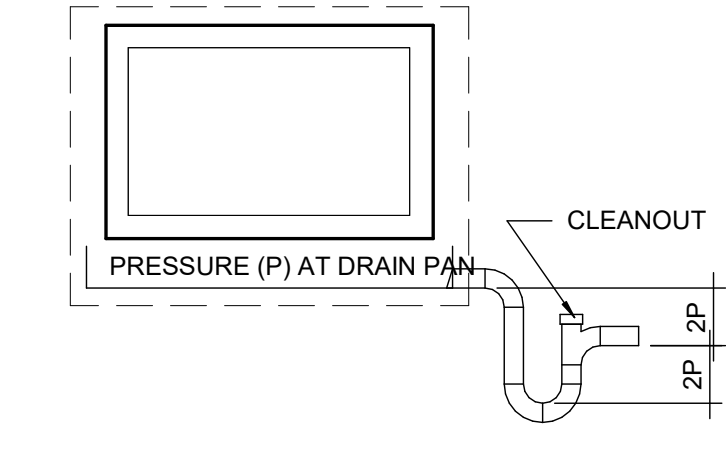
AIR COOLED CONDENSING UNIT SCHEDULE													
REMARKS:													
1. PROVIDE WITH MANUFACTURER'S CONDENSER WALL BRACKET QSWB2000M-1													
2. PROVIDE WITH MANUFACTURER'S WIND BAFFLES WB-PA5, WB-RE5, WB-SD5													
MARK	CAPACITY (MBH)	COND AMBIENT AIR TEMP (°F)	MINIMUM OPERATING AMBIENT TEMPERATURE	NUMBER OF CIRCUITS	NUMBER OF COMPRESSORS	SEER	VOLTS	PHASE	MCA	OPERATING WEIGHT	REFRIGERANT TYPE	DESIGN BASIS	REMARKS
ACCU-1	24	95	-13	1	1	21.6	208	1	17	190	410A	PUZ-HA24NH41	1.2

DUCTLESS AIR CONDITIONER SCHEDULE											
REMARKS:											
1. XXX											
MARK	CFM	COOLING (MBH)	HEATING (MBH)	OPERATING WEIGHT	REFRIGERANT USED	VOLTS	PHASE	MCA	DESIGN BASIS	REMARKS	
FCU-1	810	24	28	56	410A	208	1	0.6	PLA-AZ4EA7	XXX	

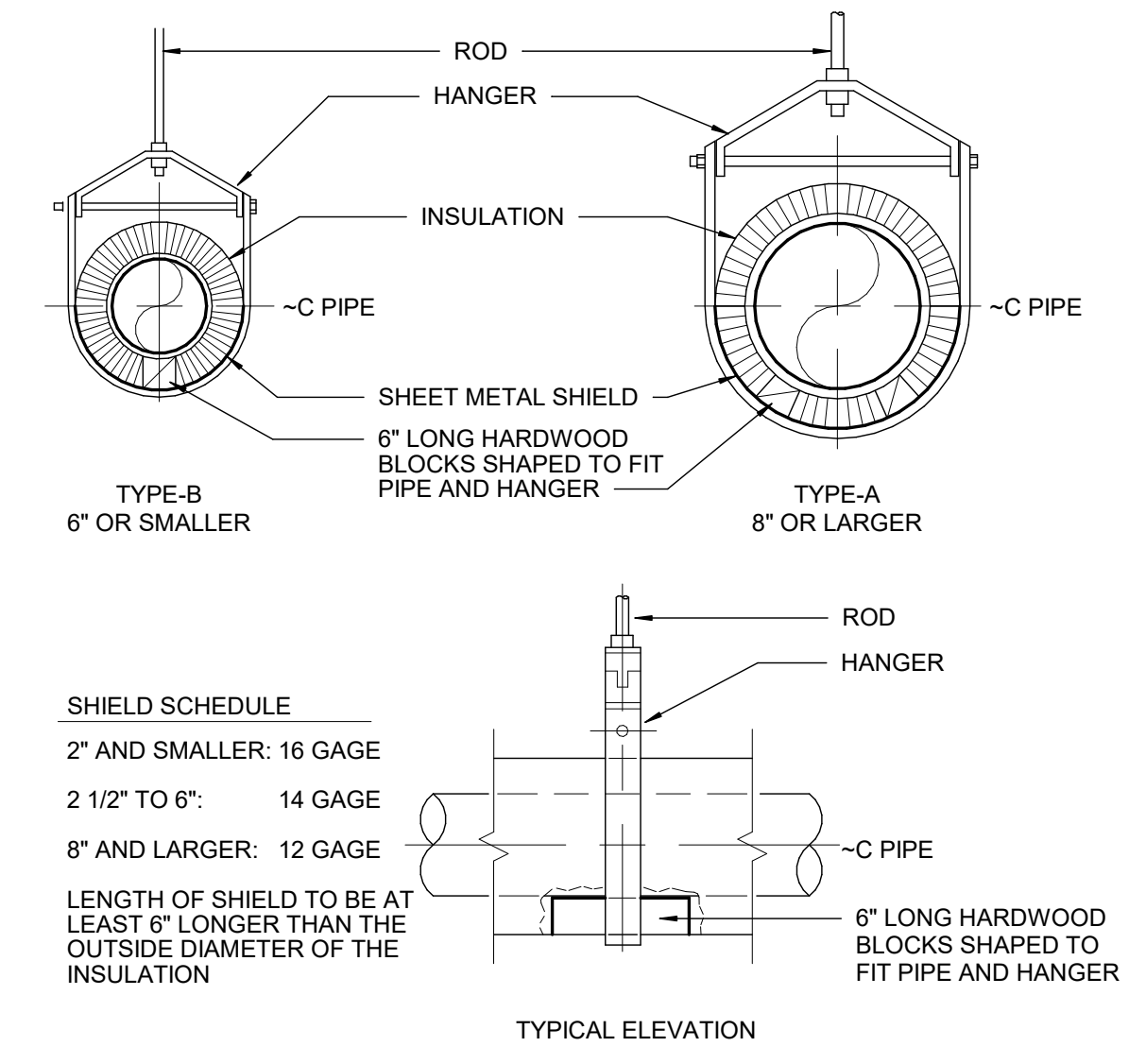
SUMP PUMP SCHEDULE											
REMARKS:											
1. 10-4014 Z CONTROL ALARM WITH FLOAT SWITCH											
2. INSTALL PUMP IN NEW FIBERGLASS SUMP BASIN, COORDINATE WITH ELEVATOR EQUIPMENT											
3. PROVIDE WITH 15' 13AMP SINGLE PIGGYBACK VARIABLE LEVEL FLOAT SWITCH											
MARK	GPM	HEAD (FT)	HEAD (FT)	SHUTOFF HP	MOTOR DATA	ELECTRICAL DATA	SUMP BASIN		DESIGN BASIS	REMARKS	
							DIAMETER	DEPTH			
SP-1	53	22	44	1/2	120	1	1'-0 1/4"	1'-3 1/2"	ZOELLER 153	1.2	

CONDENSATE DRAIN PIPE SCHEDULE		
MINIMUM PIPE SIZE	EQUIPMENT CAPACITY	REMARKS
3/4"	UP TO 3 TONS OF REFRIGERATION	
1"	OVER 3 TONS AND UP TO 20 TONS OF REFRIGERATION	
1 1/4"	OVER 20 TONS AND UP TO 90 TONS OF REFRIGERATION	

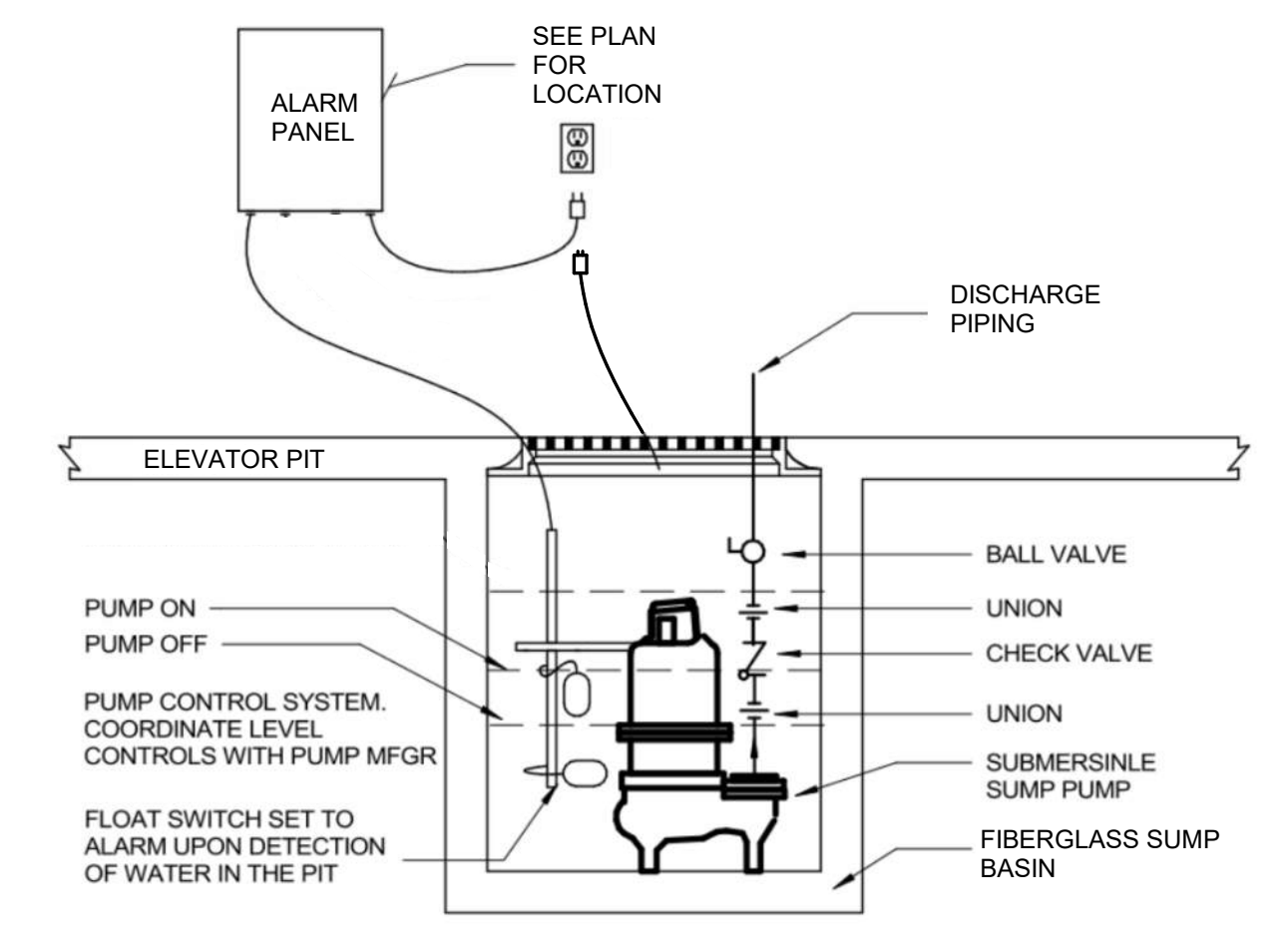
NOTE:  
1. PIPING SHALL SLOPED IN THE DIRECTION OF FLOW AT 1/8" PER FOOT MINIMUM.  
2. PIPING SHALL BE SUPPORTED INDEPENDENTLY OF THE COILS.  
3. DRAIN LINES SHALL BE RUN FULL SIZE (MINIMUM) FROM THE DRAIN PAN CONNECTION. COORDINATE SIZE REQUIREMENTS WITH SCHEDULE ABOVE.  
4. "TRAP DEPTH" AND "THE DISTANCE BETWEEN THE TRAP AND TRAP OUTLET" SHALL BE TWICE (MINIMUM) THE STATIC PRESSURE IN THE DRAIN PAN SECTION.



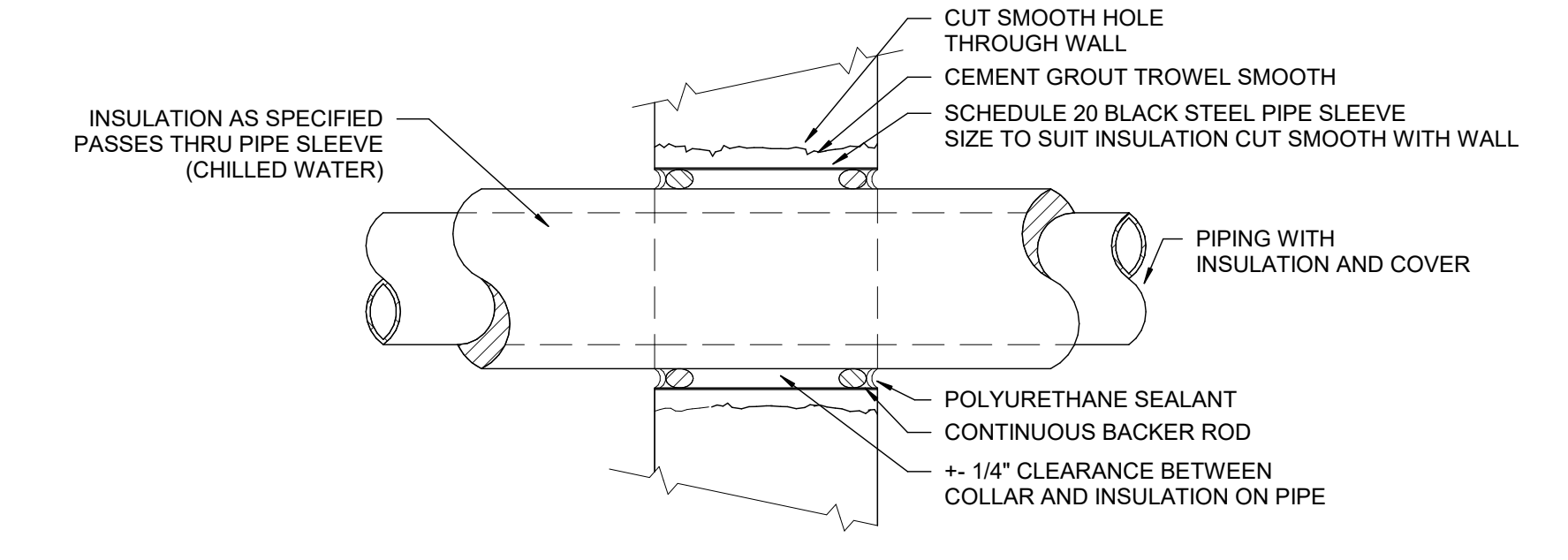
**F5** Drain Pan Piping Detail  
NOT TO SCALE



**C6** Insulated Pipe Hanger Detail  
NOT TO SCALE



**E6** ELEVATOR PIT Sump Pump Detail  
NOT TO SCALE

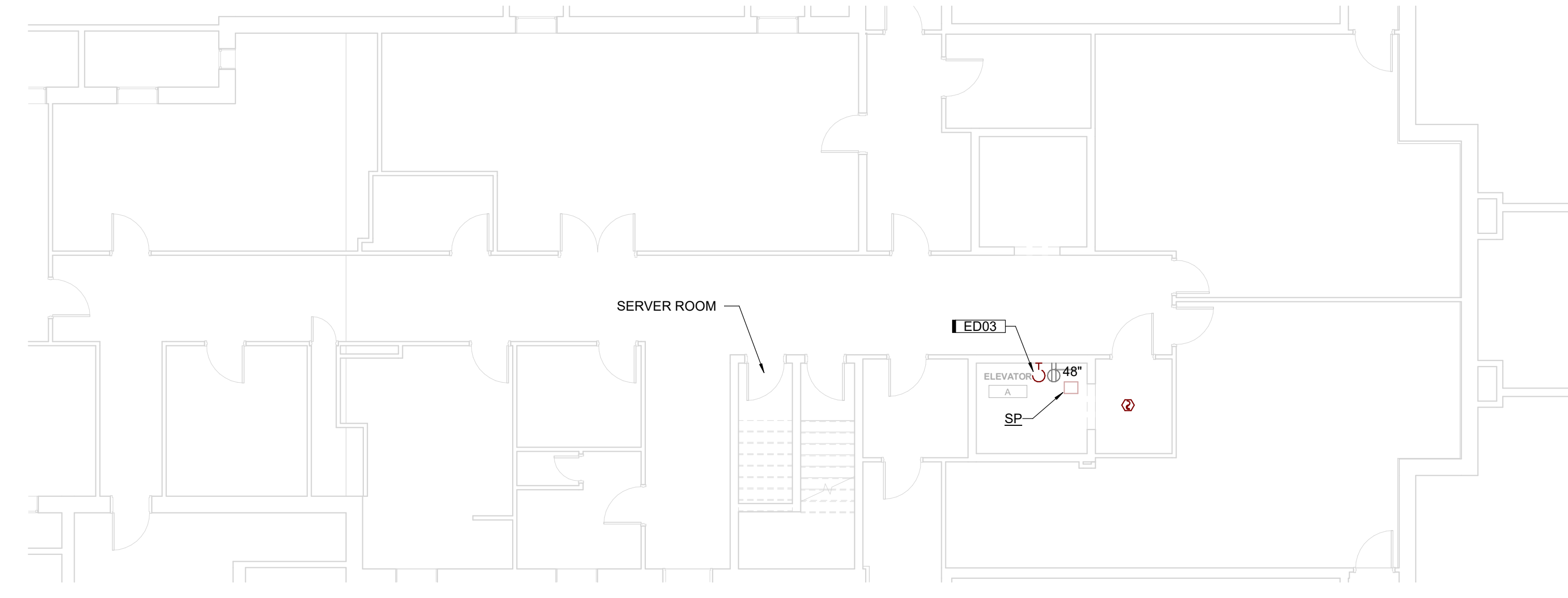


**F6** Exterior Wall Pipe Penetration Detail  
NOT TO SCALE

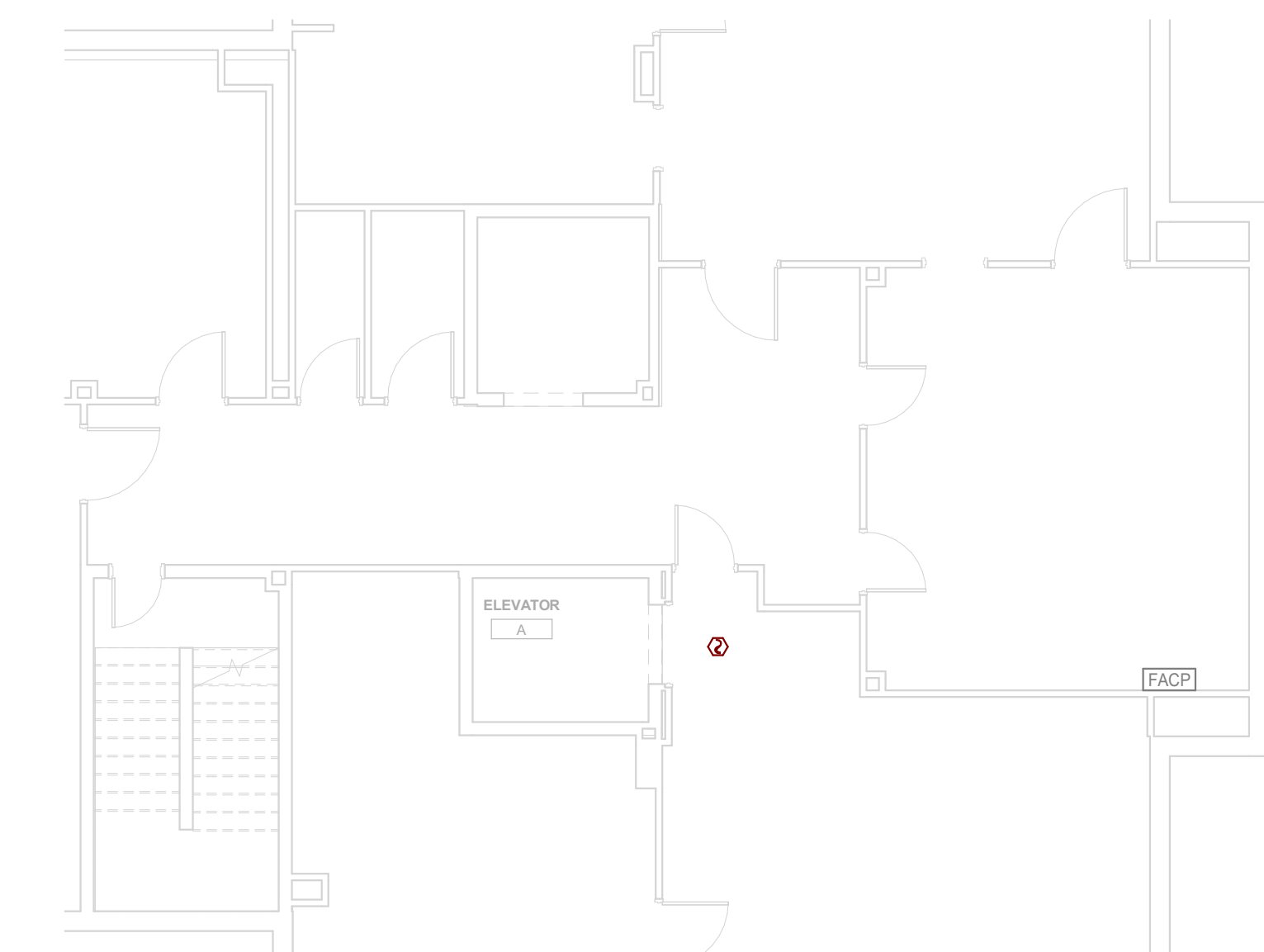
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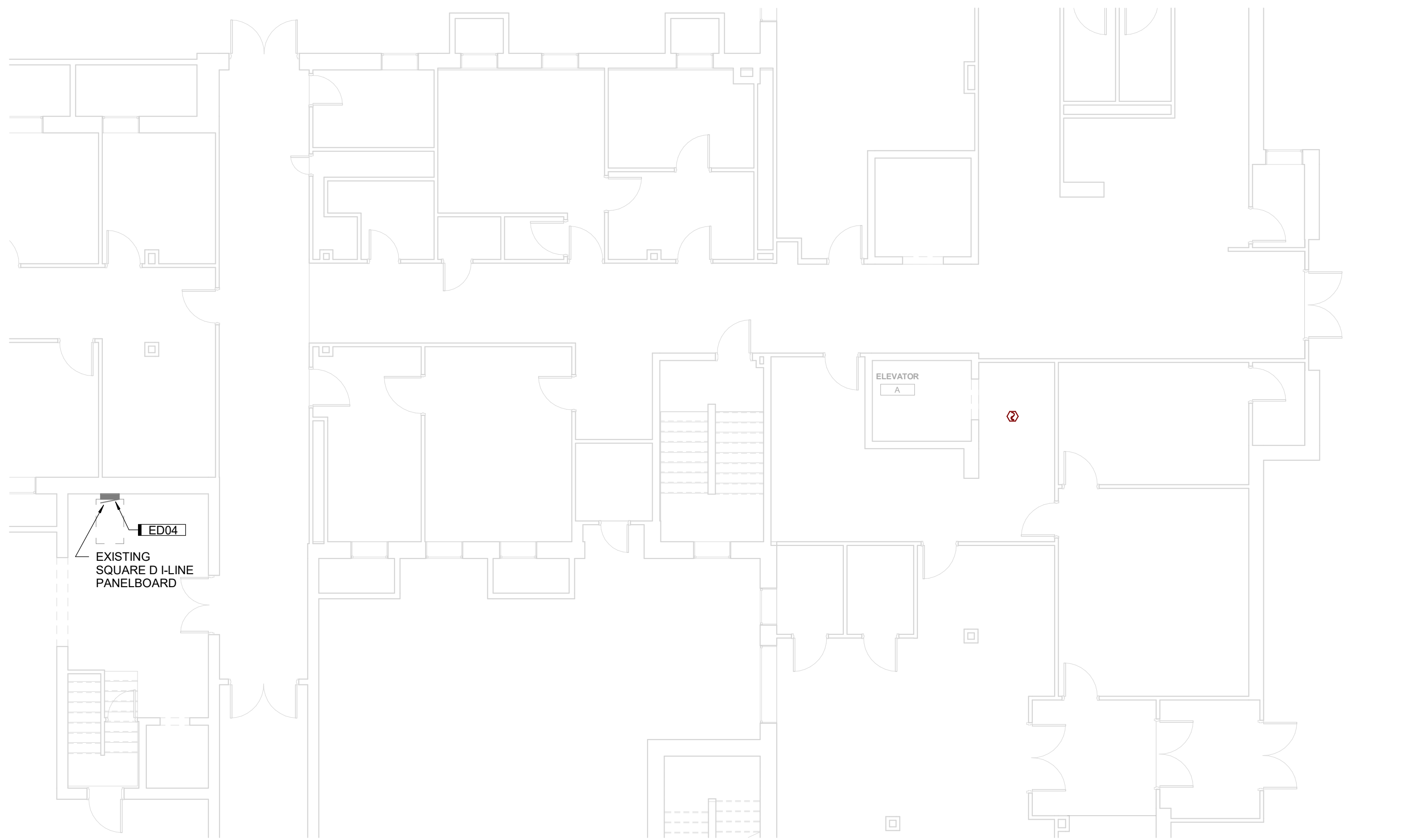
KEYNOTES	
KEY	NOTE
ED01	REMOVE EXISTING ELEVATOR DISCONNECT
ED02	EXISTING CAB LIGHTS CIRCUIT TO REMAIN. CONNECT TO NEW ELEVATOR CAB LIGHT CIRCUIT.
ED03	REMOVE EXISTING LIGHT FIXTURES IN ELEVATOR SHAFT. SAVE LIGHTING CIRCUIT FOR RE-USE
ED04	DISCONNECT EXISTING ELEVATOR CIRCUIT BREAKER AND MARK AS SPARE.



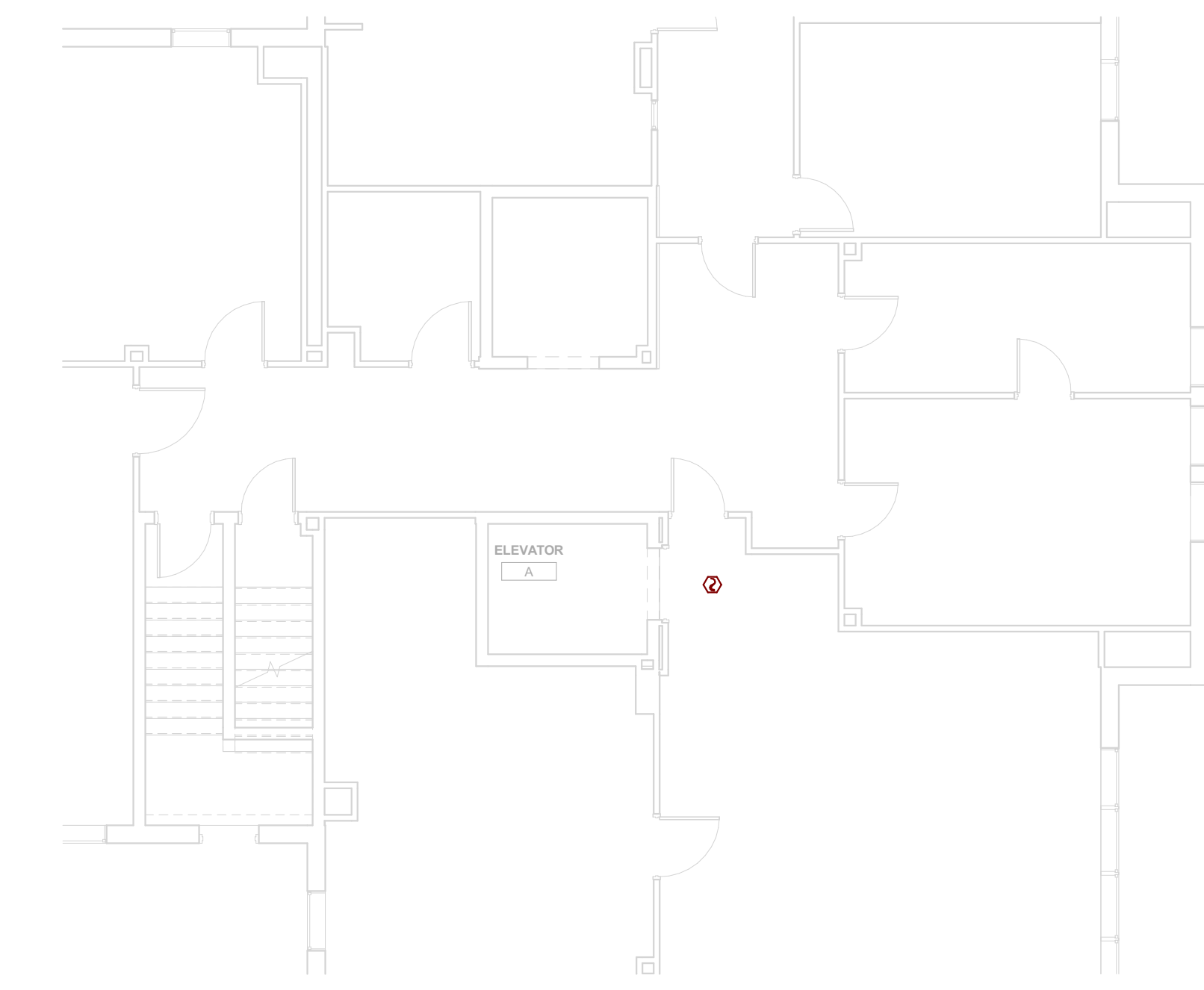
**A3 BASEMENT DEMOLITION PLAN**  
1/8" = 1'-0" 0" 12"



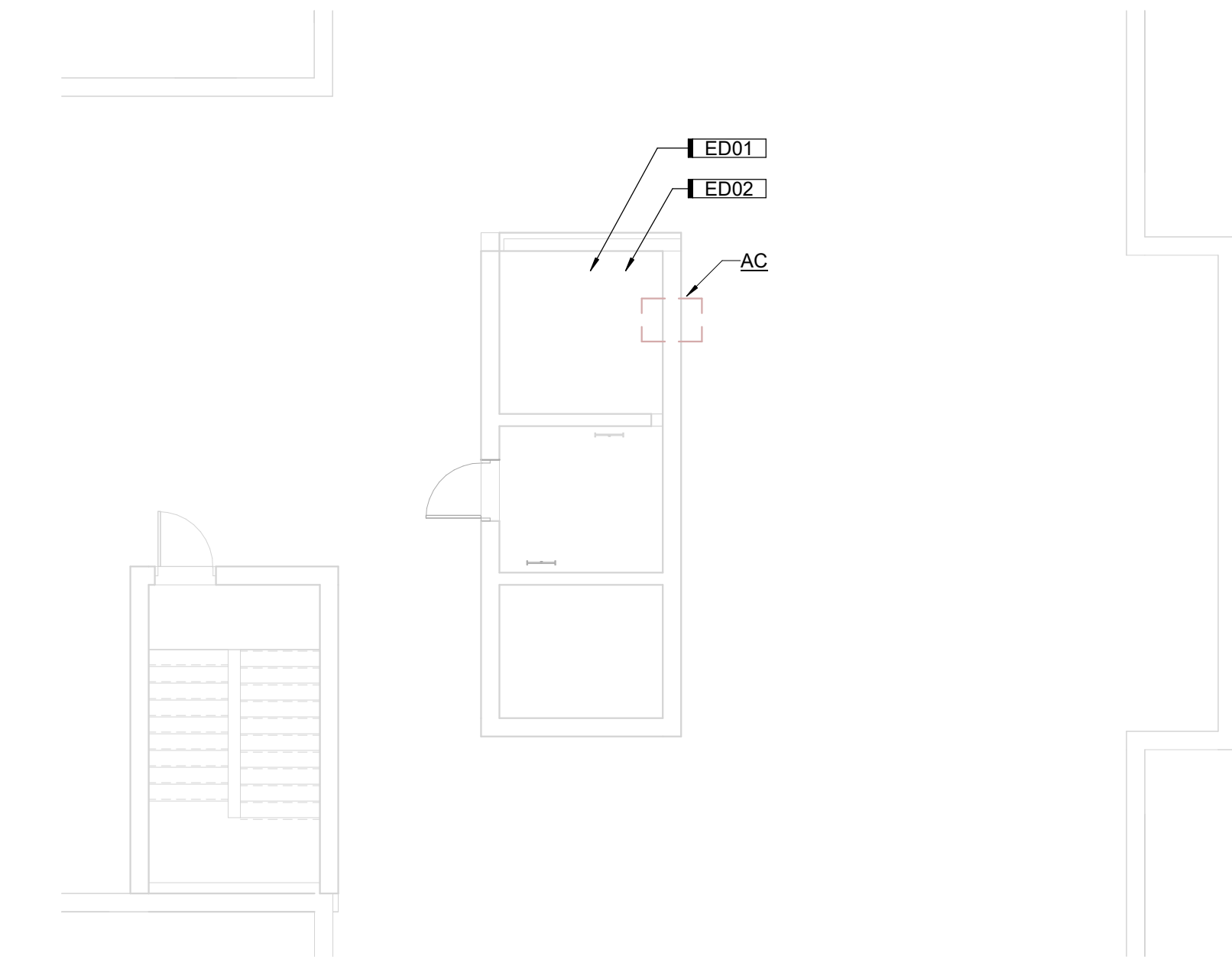
**E3 SECOND FLOOR DEMOLITION PLAN**  
1/8" = 1'-0" 0" 12"



**A5 FIRST FLOOR DEMOLITION PLAN**  
1/8" = 1'-0" 0" 12"



**E4 THIRD FLOOR DEMOLITION PLAN**  
1/8" = 1'-0" 0" 12"



**E6 ROOF DEMOLITION PLAN**  
1/8" = 1'-0" 0" 12"

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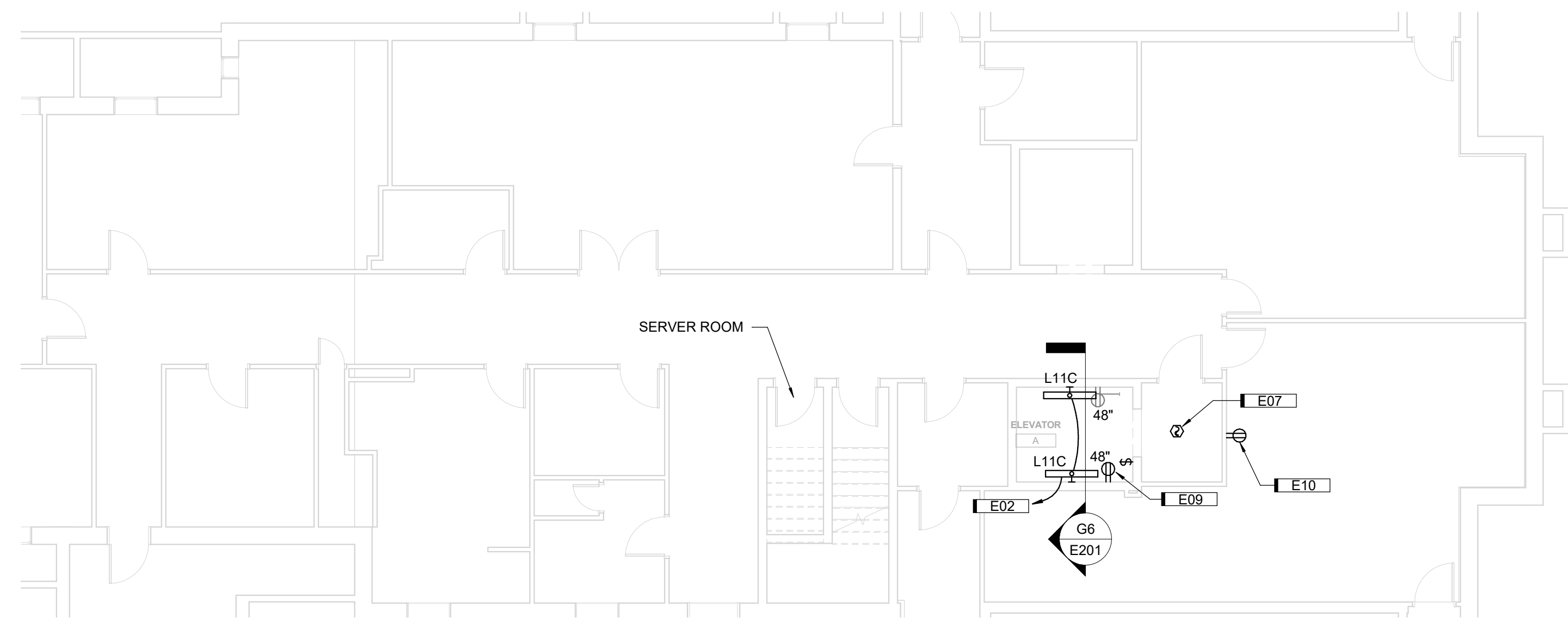
Iowa Department of Administrative Services  
CLIENT PROJECT NUMBER: DAS 17-580.00  
1200 E. Washington St., Mt Pleasant, IA 52641

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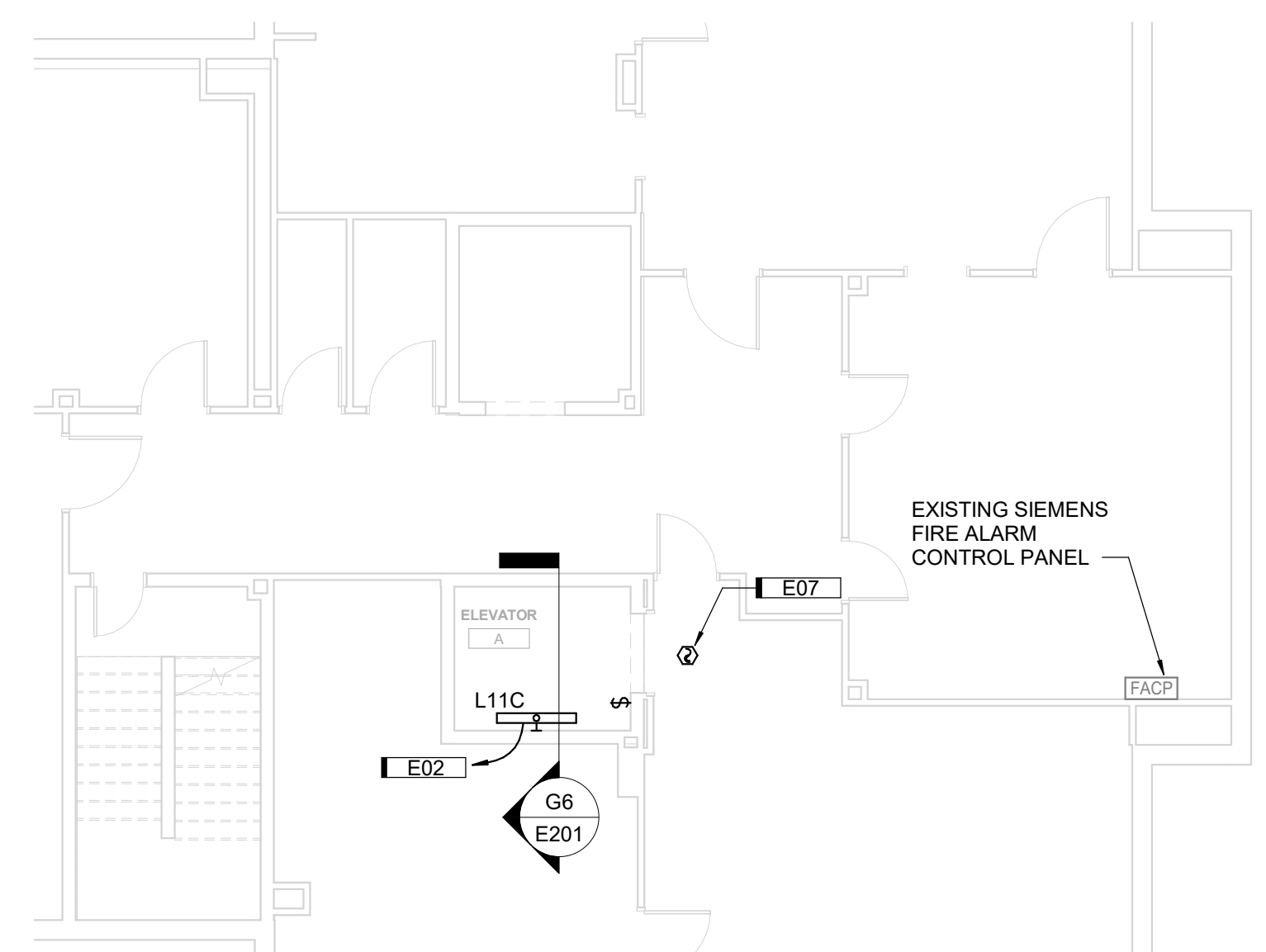
ELECTRICAL  
DEMOLITION  
PLANS

ED01

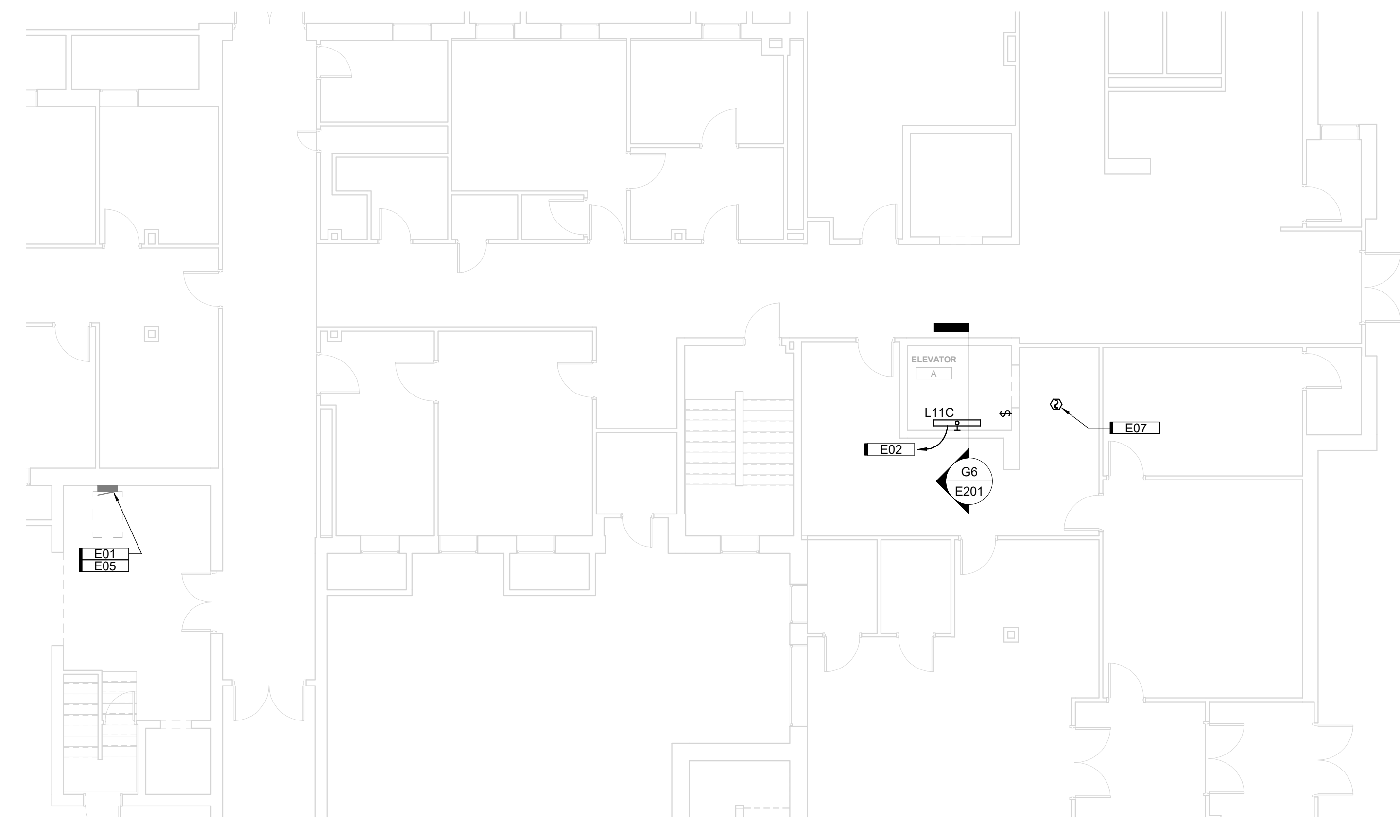
KEYNOTES	
KEY	NOTE
E01	PROVIDE AND INSTALL A 110A/3P SHUNT-TRIP CIRCUIT BREAKER IN EXISTING SQUARE D I-LINE PANELBOARD FOR NEW ELEVATOR. USE #8 IN 1-1/4" CONDUIT. USE RACEWAY AS GROUNDING CONDUCTOR. USE BOND JUMPER TO TIE CONDUIT TO PANEL GROUND BAR.
E02	CONNECT NEW LIGHT FIXTURES TO EXISTING LIGHT FIXTURE CIRCUIT IN ELEVATOR SHAFT.
E03	ROUTE (2) CAT 6 DATA CABLES TO ELEVATOR LOCATION FROM EXISTING SERVER ROOM LOCATION. COORDINATE EXACT CONNECTION LOCATION WITH ELEVATOR MANUFACTURER.
E04	PROVIDE AND INSTALL NEW FUSED DISCONNECT FOR NEW ELEVATOR.
E05	PROVIDE AND INSTALL NEW 25A/2P CIRCUIT BREAKER IN EXISTING SQUARE D I-LINE PANELBOARD FOR NEW PENTHOUSE CONDENSING UNIT. USE 2#10 IN 3/4" CONDUIT. USE RACEWAY AS GROUNDING CONDUCTOR. USE BOND JUMPER TO TIE CONDUIT TO PANEL GROUND BAR.
E06	INDOOR UNIT IS POWERED BY OUTDOOR UNIT.
E07	INSTALL OWNER SUPPLIED HEAT DETECTOR TO BE USED DURING CONSTRUCTION. ONCE PROJECT IS FINISHED, INSTALL SMOKE DETECTOR AS SHOWN.
E08	PROVIDE AND INSTALL 1" CONDUIT AND CAT6 CABLE FROM CAMERA HEAD END IN SERVER ROOM TO ELEVATOR EQUIPMENT ROOM FOR ELEVATOR CAB CAMERA. COORDINATE EXACT LOCATION WITH OWNER.
E09	CONNECT TO EXISTING RECEPTACLE CIRCUIT IN ELEVATOR SHAFT.
E10	RECEPTACLE FOR SUMP PUMP CONTROL PANEL. CONNECT TO SPARE CIRCUIT IN PANEL FEEDING ELEVATOR SHAFT 120V CIRCUIT.
E11	CONNECT FIRE ALARM RELAY TO ELEVATOR CONTROLLER. SEE SPECIFICATION FOR MORE INFORMATION.



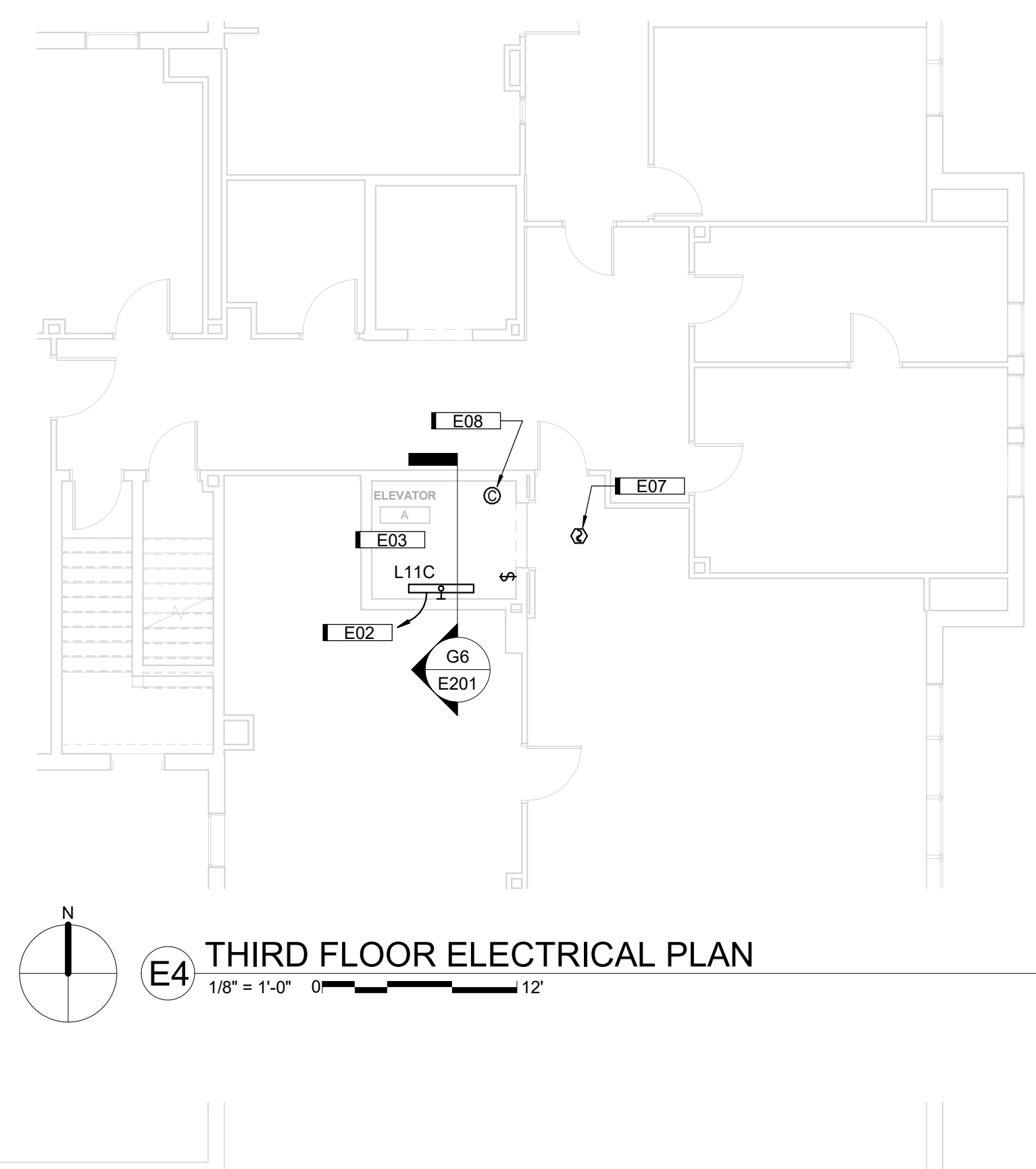
**A3 BASEMENT ELECTRICAL PLAN**  
1/8" = 1'-0" 0 12



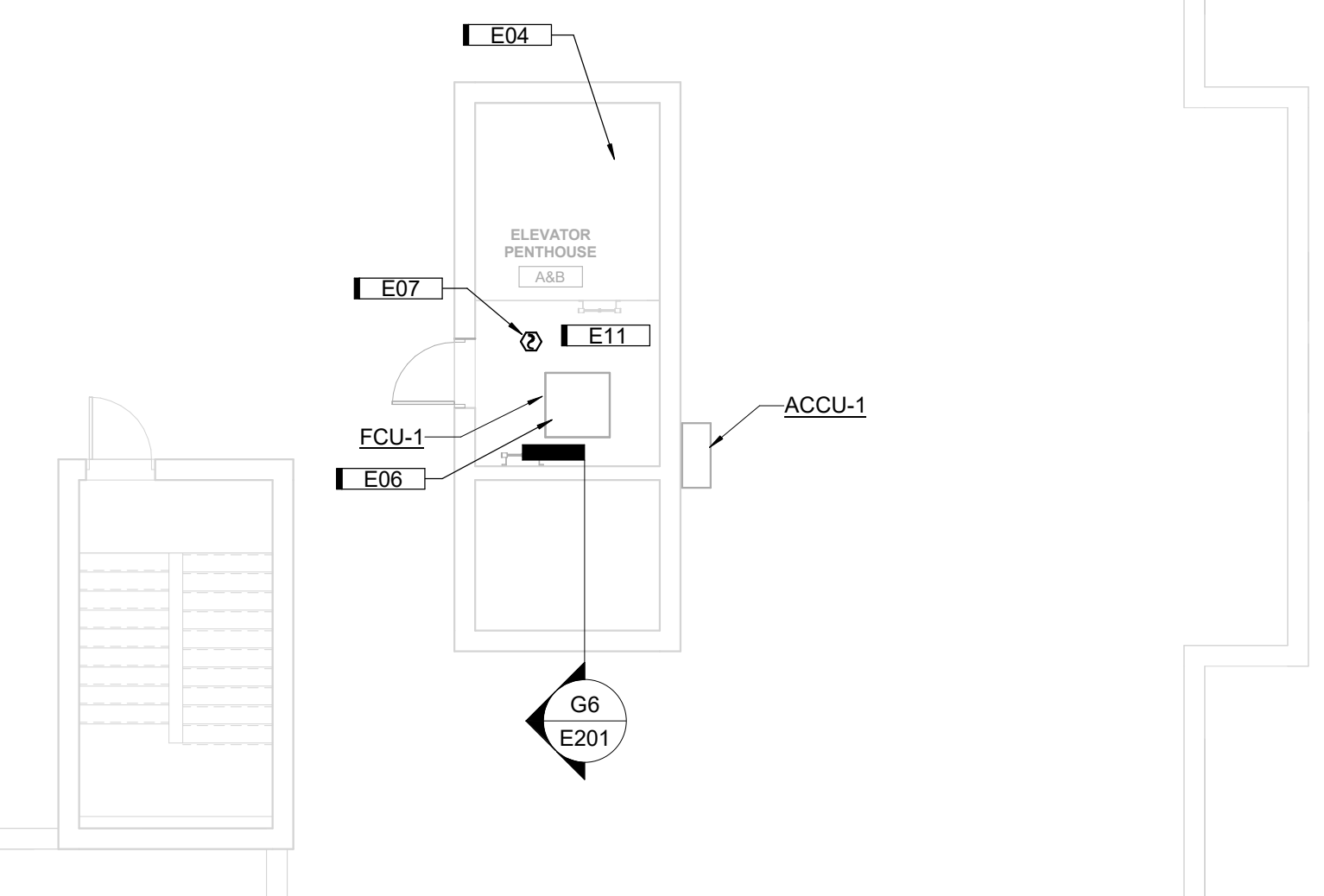
**E3 SECOND FLOOR ELECTRICAL PLAN**  
1/8" = 1'-0" 0 12



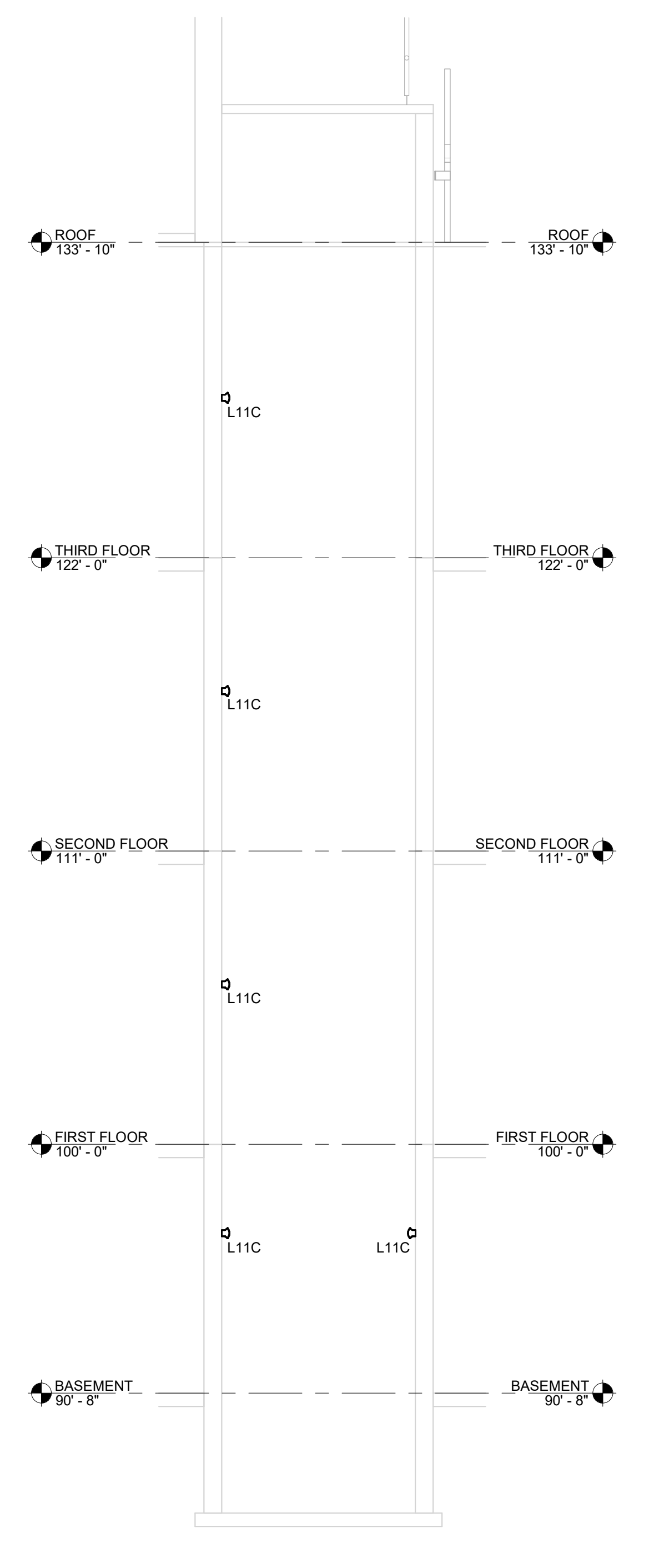
**A5 FIRST FLOOR ELECTRICAL PLAN**  
1/8" = 1'-0" 0 12



**E4 THIRD FLOOR ELECTRICAL PLAN**  
1/8" = 1'-0" 0 12



**E6 ROOF POWER PLAN**  
1/8" = 1'-0" 0 12



**G6 ELEVATOR SECTION VIEW**  
1/4" = 1'-0" 0 6'

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**E201**