

ABBREVIATIONS

ADJ	ADJUSTABLE	MTL	METAL
A/E	ARCHITECT / ENGINEER	MFR	MANUFACTURER
AMT	AMOUNT	MIN	MINIMUM
APPROX	APPROXIMATELY	MISC	MISCELLANEOUS
ARCH	ARCHITECT	MO	MASONRY OPENING
AVE	AVERAGE		
BD	BOARD	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO	NUMBER
BRK	BRICK	NOM	NOMINAL
		NTS	NOT TO SCALE
CC	CENTER TO CENTER	OC	ON CENTER
CONT	CONTINUOUS	OPNG	OPENING
CONTR	CONTRACTOR	ORIG	ORIGINAL
CTR	CENTER	OS	OUTSIDE
D	DEPTH	PR	PAIR
DEMO	DEMOLITION	PROT	PROTECTION
DTL	DETAIL	PT	PAINT
DIA	DIAMETER	PTW	PRESSURE TREATED WOOD
DIM	DIMENSION		
DN	DOWN	R&R	REMOVE AND REPLACE
DO	REPEAT	RAD	RADIUS
DWG	DRAWING	REQ'D	REQUIRED
		RQMT	REQUIREMENT
EA	EACH	SECT	SECTION
ELEV	ELEVATION	SF	SQUARE FOOT OR FEET
ENGR	ENGINEER	SHT	SHEET
EQ	EQUAL	SIM	SIMILAR
EX/EXST	EXISTING	SPEC	SPECIFICATION
EXT	EXTERIOR	SQ	SQUARE
FIN	FINISH	STD	STANDARD
FLR	FLOOR	STL	STEEL
FT	FOOT OR FEET	T&B	TOP AND BOTTOM
FRTW	FIRE RETARDANT TREATED WD	TYP	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
GA	GAUGE	VERT	VERTICAL
GALV	GALVANIZED		
GND	GROUND	W	WIDTH
H	HIGH	W/	WITH
HGT	HEIGHT	W/O	WITHOUT
HORIZ	HORIZONTAL	WD	WOOD
IAW	IN ACCORDANCE WITH	WGT	WEIGHT
INCL	INCLUDED		
INT	INTERIOR		
IS	INSIDE		
JT	JOINT		
KW	KEY WALL		

HHS WRC COTTAGE
SIDING REPLACEMENT

WOODWARD RESOURCE CENTER
1251 334TH STREET
WOODWARD, IA 50276

DAS PROJECT No. 9433.00
GENESIS PROJECT No. 2411

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CONTACT LIST

OWNER:
IOWA DEPT. OF ADMINISTRATIVE SERVICES
109 SE 13TH STREET
DES MOINES, IA 50319

CLIENT:
WOODWARD RESOURCE CENTER
1251 334TH STREET
WOODWARD, IA 50276

CONSTRUCTION MANAGER:
STORY CONSTRUCTION
DARREN MILLIKEN, PROJECT MANAGER
2810 WAKEFIELD CIRCLE
AMES, IA 50010
OFFICE: 515.291.5358

ARCHITECT:
GENESIS ARCHITECTURAL DESIGN
EDWARD MATT, AIA PROJECT ARCHITECT
939 OFFICE PARK ROAD. SUITE 101
WEST DES MOINES, IA 50265-2505
OFFICE: 515.440.1681



I hereby certify that the portion of this technical submission described below was prepared by me or under my supervisor and responsible charge. I am a duly registered Architect under the laws of the State of Iowa.

Signature *Edward L. Matt* 05761
Edward L. Matt Reg. No.
Pages or Sheets covered in part or whole by this seal:
A0.0, A0.1, A1.0, A1.1, A2.0, A2.1, A2.2, A3.0, A3.1, A3.2, & A3.3
Date Issued: Feb. 18, 2025

HHS WRC COTTAGE SIDING REPLACEMENT
1251 334TH STREET
WOODWARD, IA 50276

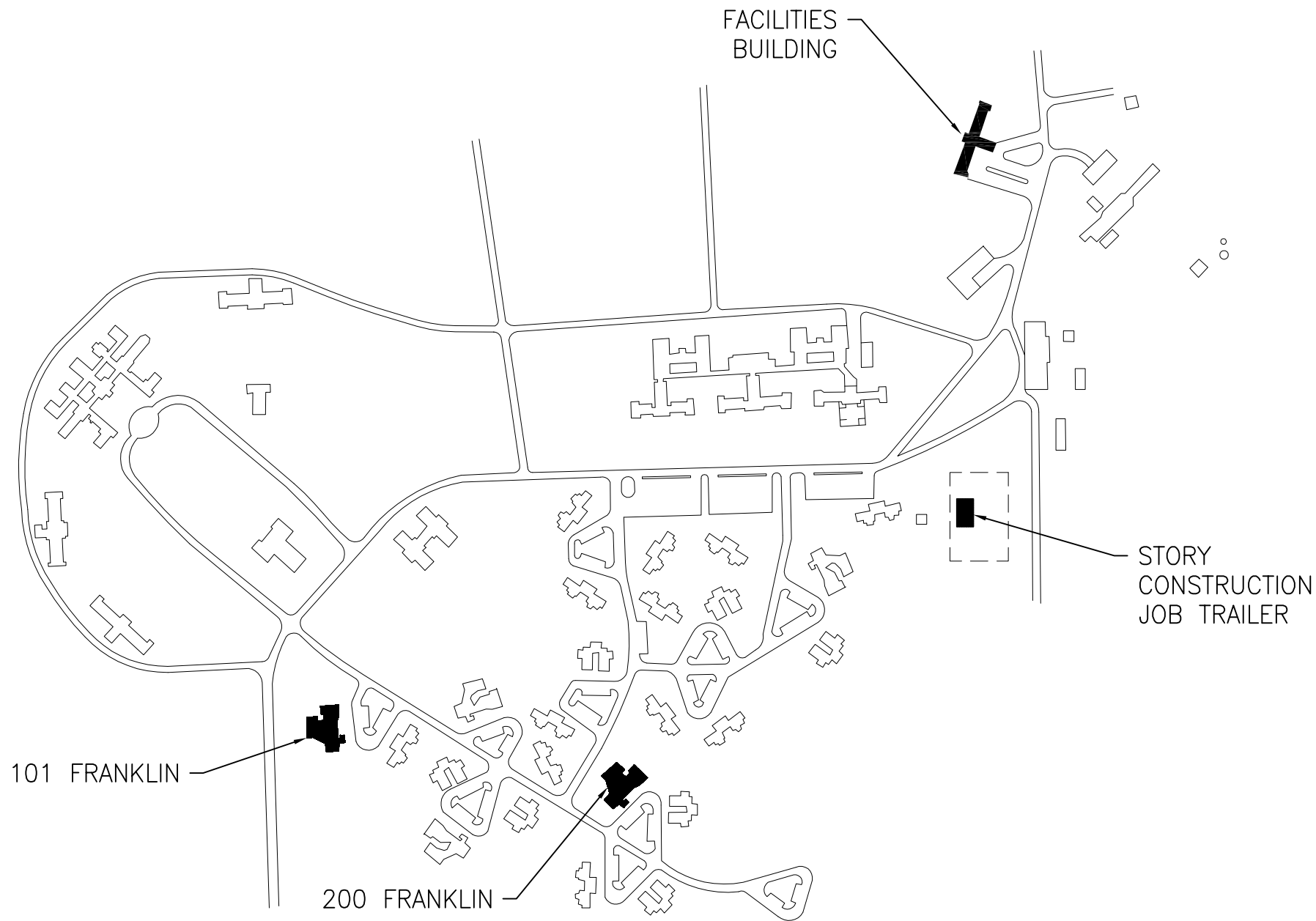
COVER

DAS NO.
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2411
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A0.0

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GENESIS
ARCHITECTURAL DESIGN

SITE NOTES:

- 1. CONTRACTOR'S PERSONNEL ARE TO FOLLOW ALL RULES FOR CONSTRUCTION WORKERS. SEE SPECIFICATION FOR REQUIREMENTS.
- 2. CONTRACTOR TO KEEP SIDEWALKS AND DRIVEWAYS OPEN.
- 3. SEE SPECIFICATION FOR WORK HOURS. COORDINATE ANY PROPOSED EXTENDED WORK HOURS INCLUDING WEEKENDS WITH CONSTRUCTION MANAGER IN ADVANCE.
- 4. ELECTRICAL POWER IS AVAILABLE OUTSIDE OUTLETS ON THE BUILDINGS.
- 5. TOILETS ARE AVAILABLE AT THE CONSTRUCTION MANAGER'S JOB SITE.
- 6. COORDINATE WITH THE CONSTRUCTION MANAGER FOR ACCEPTABLE WASTE TRAILER LOCATIONS OR HAUL OFFSITE.
- 7. PROTECT SIDEWALKS AND LAWN FROM EQUIPMENT AND LIFT DAMAGE. REPAIR ANY DAMAGED SIDEWALKS.
- 8. NOTE ALL TOOLS AND EQUIPMENT ARE TO BE LOCKED UP AT THE END OF EACH DAYS WORK. WALK WORK AREA WITH MAGNET EACH DAY TO REMOVE ANY SCREWS AND/OR NAILS.

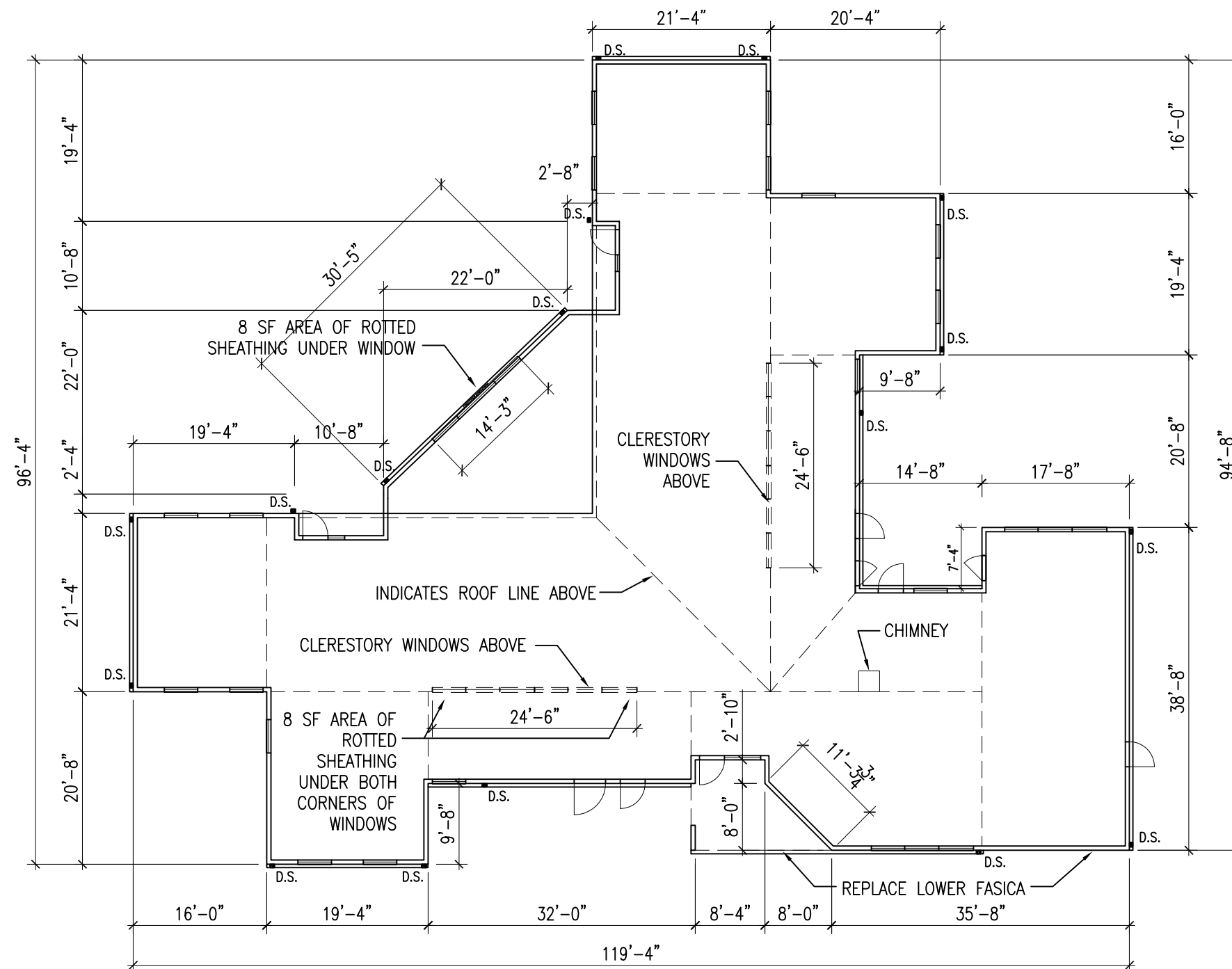


WRC MAP
SCALE: NOT TO SCALE

1. DOUBLE 4" VINYL SIDING: - WICKER TAN
2. VINYL TRIM: CORNERS - WHITE
J-CHANNELS - MATCH SIDING
3. BASEBOARD: WHITE
4. WINDOW TRIM: WHITE

1. ALL WORK IS TO BE CONSTRUCTED IN COMPLIANCE WITH STATE BUILDING CODES. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES.
2. NOTE DRAWING SCALES FOR EACH PLAN AND SHEET. PLANS AND DETAILS VARY IN SCALE.
3. CONTRACTOR VERIFY ALL DIMENSIONS WITH FIELD MEASUREMENTS. ITEMS, QUANTITIES AND SQUARE FOOT QUANTITIES ARE ESTIMATES. FIELD VERIFY ALL QUANTITIES.
4. CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS. REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING WITH WORK.
5. PROTECT ROOFS FROM DAMAGE IN ALL WORK AREAS ABOVE LOWER ROOFS.
6. INSPECT CONDITION OF EXISTING T1-11 AND GYP. BD. SHEATHING WHEN EXPOSED AFTER SIDING DEMO ESP. AROUND WINDOWS AND OTHER PENETRATIONS. REPAIR SHEATHING BY REPLACING WITH EXT. GRADE PLYWOOD WHERE NEEDED. SEE UNIT COSTS.
7. INSTALL TREATED PLYWOOD AND BASE BOARD FULL PERIMETER OF BUILDING. SEE DETAIL 2/A3.0. WHEN INSTALLING TREATED PLYWOOD BEHIND BASE BOARD TRIM, VERIFY CONDITION OF WALL SILL PLATE. NOTIFY ARCHITECT & CM IF DAMAGE SILLS OR STUDS ARE FOUND.
8. OWNER WILL REMOVE AND REINSTALL ALL LIGHTS AND ACCESSORY DEVICES. COORDINATE SCHEDULED AREAS IN ADVANCE.

- A. REMOVE ALL EXISTING VINYL SIDING. REPAIR SHEATHING AS NEEDED. SHEATHING INCLUDE BOTH GYP.BD. & T-11 SIDING PLUS TWO SHEET OF 3/4" PLYWOOD. PROVIDE BUILDING WRAP OVER ALL SHEATHING AND INSTALL DOUBLE 4" VINYL SIDING AND TRIM.
- B. PROVIDE 2 SHEETS EACH OF 1/2" AND 3/4" EXT. GRADE PLYWOOD SHEATHING IN BASE BID FOR SHEATHING REPAIRS BEYOND AREAS INDICATED. PROBE ALL SHEATHING AFTER SIDING DEMO TO CHECK FOR WATER DAMAGE. SEE UNIT COSTS FOR ANY ADDITIONAL REPAIRS.
- C. WHEN REPLACING SHEATHING, PROBE AND CHECK SILL AND STUD FRAMING FOR WATER DAMAGE.
- D. EXISTING FASCIAS AND GUTTERS REMAIN. REMOVE AND REPLACE ALL DOWNSPOUTS. PROVIDE WITH 4 FOOT DISCHARGE EXTENSIONS WITH HINGES.
- E. REMOVE AND REPLACE ALL UPPER AND LOWER VENT STRIPS.
- F. EXISTING SOFFIT PANELS ARE TO REMAIN UNLESS NOTED OTHERWISE.
- G. REPLACE ALL WOOD WINDOW TRIM, INSTALL NEW PREFINISHED PVC TRIM BOARDS.
- H. PROVIDE J CHANNEL TRIM AROUND ALL EXISTING UTILITIES.

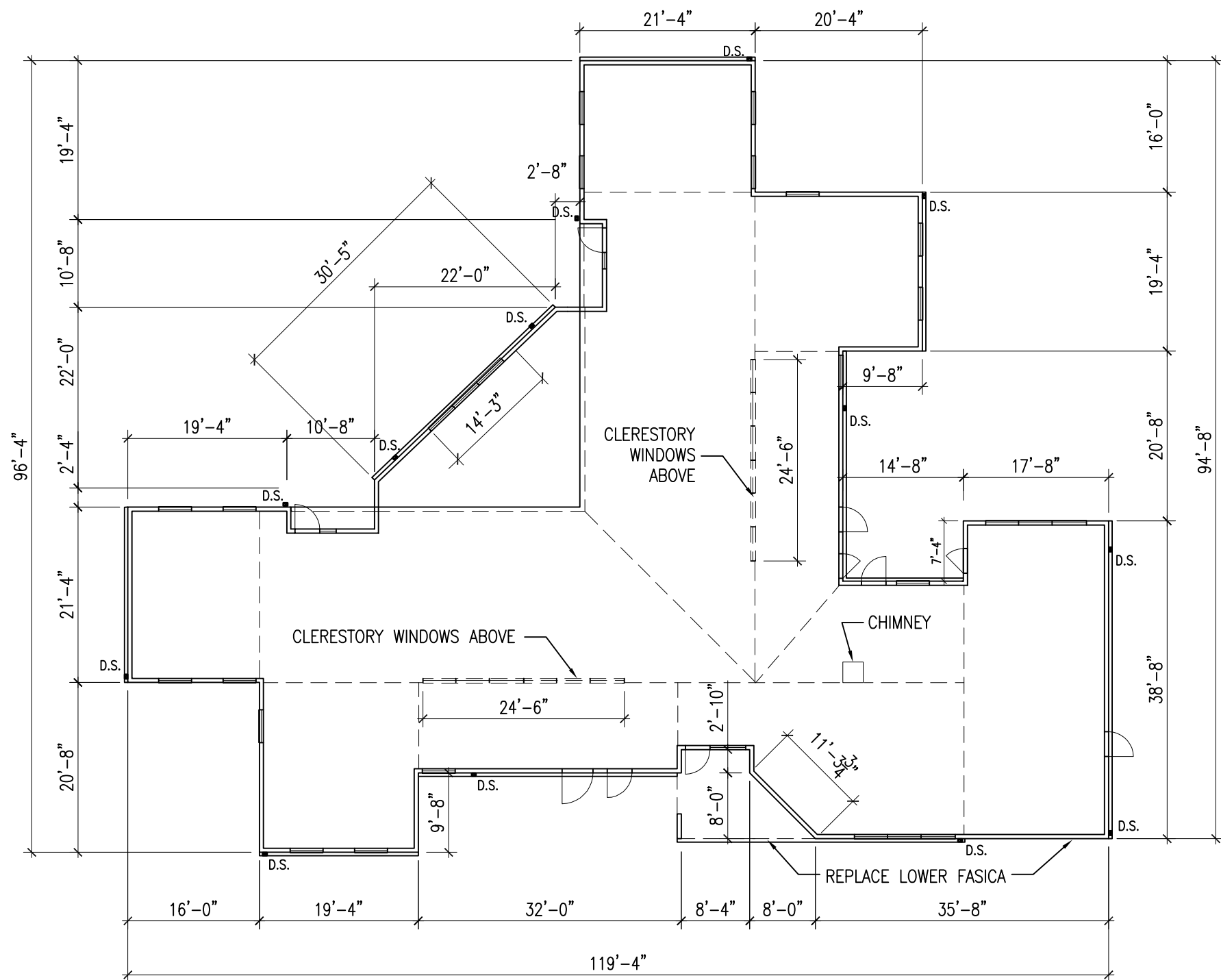


(METAL ROOF)

SCALE 1/16" = 1'-0"

1

A1.0



FLOOR PLAN - 200 FRANKLIN

SCALE 1/16" = 1'-0"

(SHINGLE ROOF)

SEE BID ALTERNATE

1
A1.1

COLORS:

- 1. DOUBLE 4" VINYL SIDING: – WICKER TAN
- 2. VINYL TRIM: CORNERS – WHITE
J-CHANNELS – MATCH SIDING
- 3. BASEBOARD: WHITE
- 4. WINDOW TRIM: WHITE

GENERAL NOTES:

- 1. ALL WORK IS TO BE CONSTRUCTED IN COMPLIANCE WITH STATE BUILDING CODES. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES.
- 2. NOTE DRAWING SCALES FOR EACH PLAN AND SHEET. PLANS AND DETAILS VARY IN SCALE.
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- 5. PROTECT ROOFS FROM DAMAGE IN ALL WORK AREAS ABOVE LOWER ROOFS.
- 6. INSPECT CONDITION OF EXISTING T1-11 AND GYP. BD. SHEATHING WHEN EXPOSED AFTER SIDING DEMO ESP. AROUND WINDOWS AND OTHER PENETRATIONS. REPAIR SHEATHING BY REPLACING WITH EXT. GRADE PLYWOOD WHERE NEEDED. SEE UNIT COSTS.
- 7. INSTALL TREATED PLYWOOD AND BASE BOARD FULL PERIMETER OF BUILDING. SEE DETAIL 2/A3.0. WHEN INSTALLING TREATED PLYWOOD BEHIND BASE BOARD TRIM, VERIFY CONDITION OF WALL SILL PLATE. NOTIFY ARCHITECT & CM IF DAMAGE SILLS OR STUDS ARE FOUND.
- 8. OWNER WILL REMOVE AND REINSTALL ALL LIGHTS AND ACCESSORY DEVICES. COORDINATE SCHEDULED AREAS IN ADVANCE.

200 FRANKLIN SCOPE NOTES:

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- B. PROVIDE 2 SHEETS EACH OF 1/2" AND 3/4" EXT. GRADE PLYWOOD SHEATHING IN BASE BID FOR SHEATHING REPAIRS BEYOND AREAS INDICATED. PROBE ALL SHEATHING AFTER SIDING DEMO TO CHECK FOR WATER DAMAGE. SEE UNIT COSTS FOR ANY ADDITIONAL REPAIRS.
- C. WHEN REPLACING SHEATHING, PROBE AND CHECK SILL AND STUD FRAMING FOR WATER DAMAGE.
- D. REMOVE AND REPLACE ALL GUTTERS AND DOWNSPOUTS. PROVIDE WITH 4 FOOT DISCHARGE EXTENSIONS WITH HINGES ON DOWNSPOUTS.
- E. REMOVE AND REPLACE ALL FASCIA COVERS AND UPPER AND LOWER VENT STRIPS.
- F. EXISTING SOFFIT PANELS ARE TO REMAIN UNLESS NOTED OTHERWISE.
- G. REPLACE ALL WOOD WINDOW TRIM, INSTALL NEW PREFINISHED PVC TRIM BOARDS.
- H. PROVIDE J CHANNEL TRIM AROUND ALL EXISTING UTILITIES.

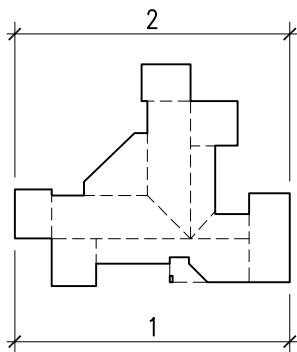
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FLOOR PLAN

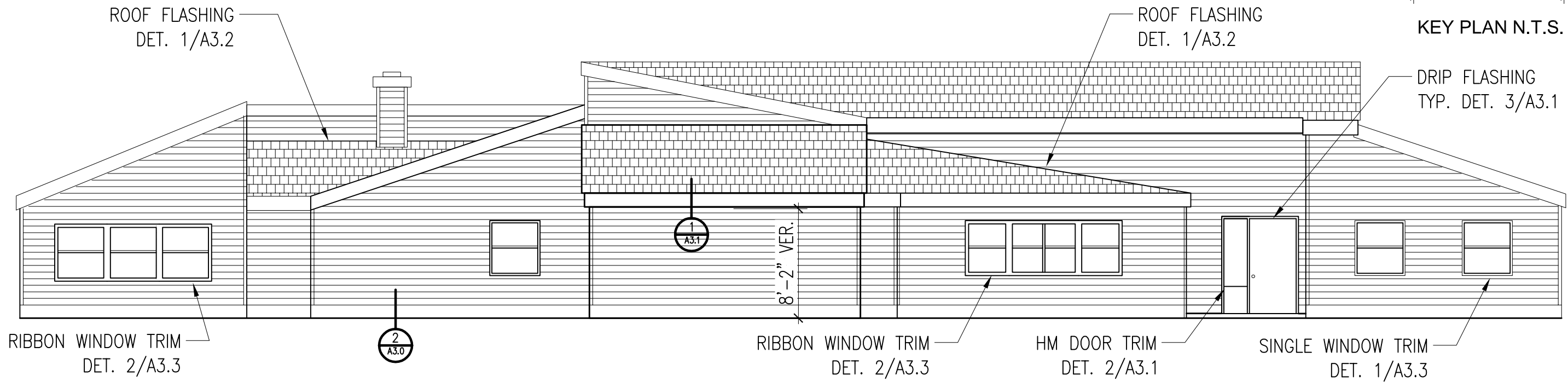
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NOTE:
DOWNSPOUTS ARE NOT SHOWN AS THEY VARY IN
LOCATIONS AND QUANTITY BETWEEN BUILDINGS.
SEE FLOOR PLANS FOR DOWNSPOUT LOCATIONS.



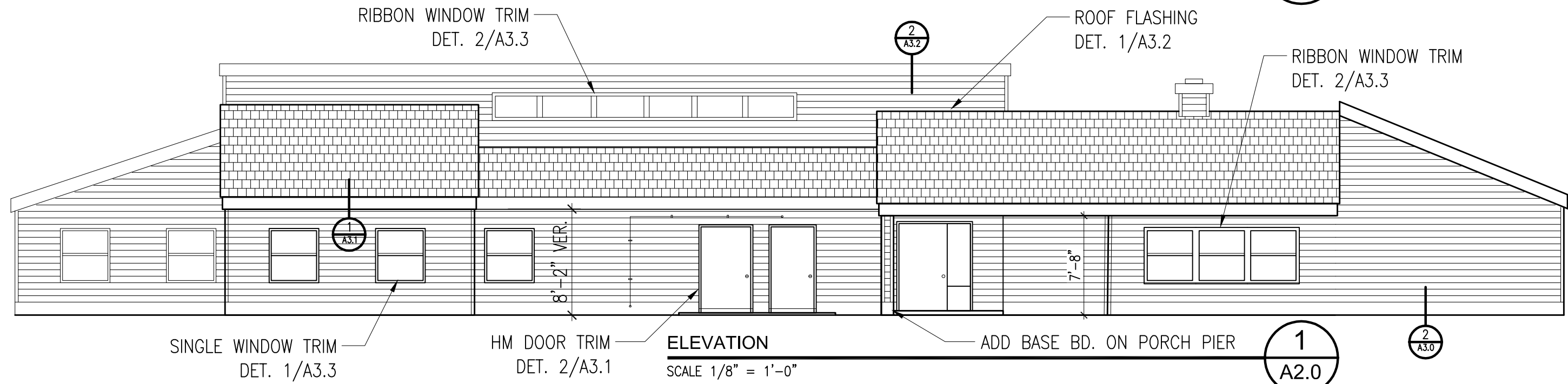
KEY PLAN N.T.S.



ELEVATION

SCALE 1/8" = 1'-0"

2
A2.0



ELEVATION

SCALE 1/8" = 1'-0"

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ELEVATIONS

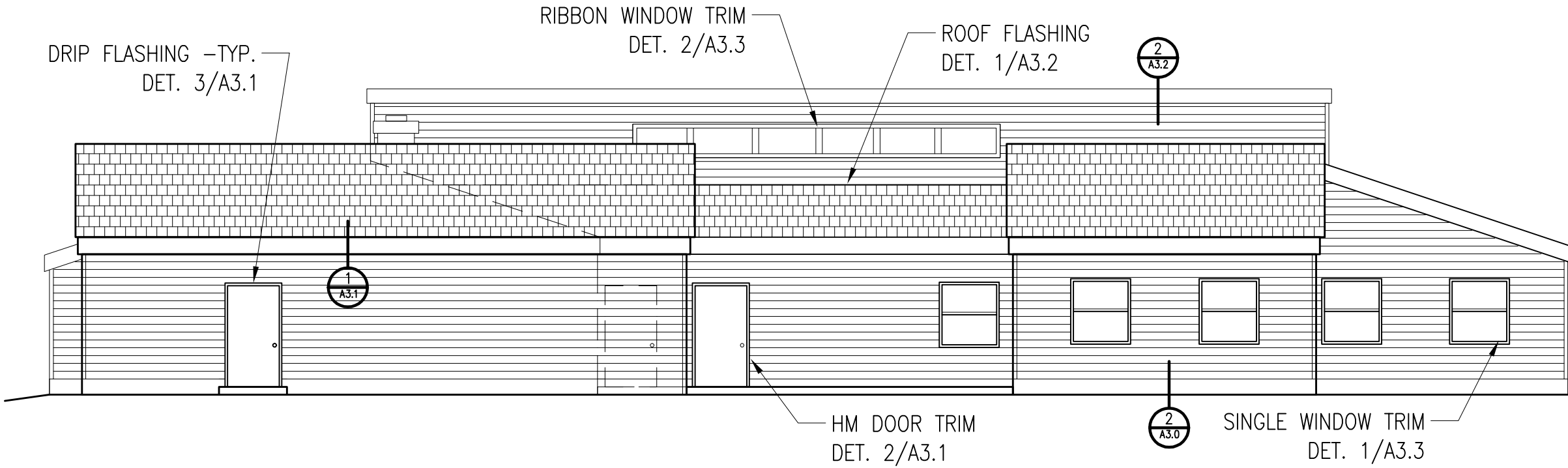
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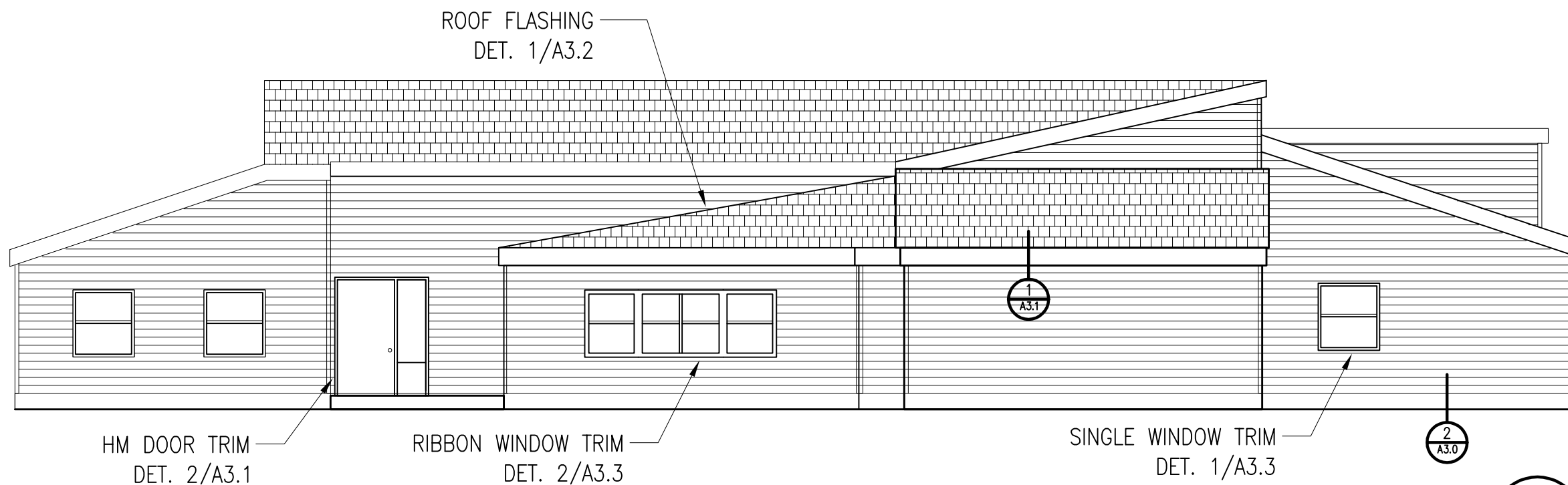
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ELEVATION

SCALE 1/8" = 1'-0"

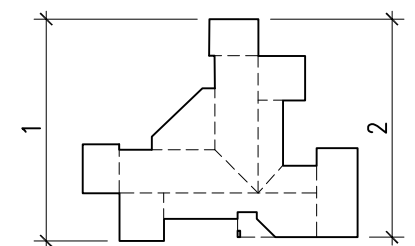
2
A2.1



ELEVATION

SCALE 1/8" = 1'-0"

1
A2.1



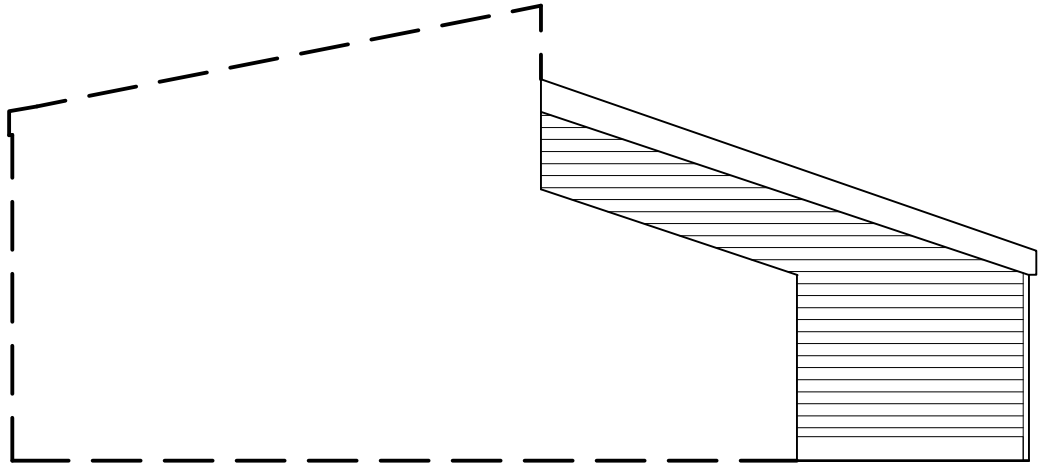
KEY PLAN N.T.S.

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ELEVATIONS

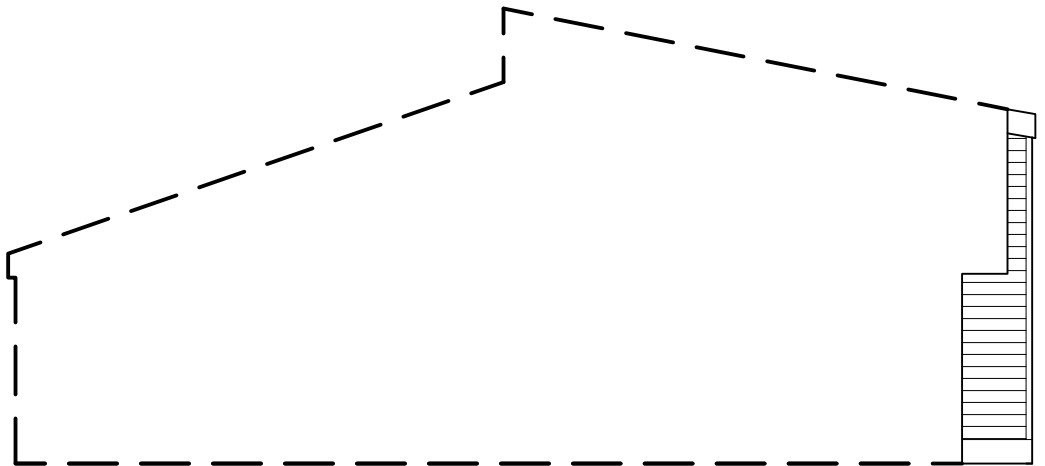
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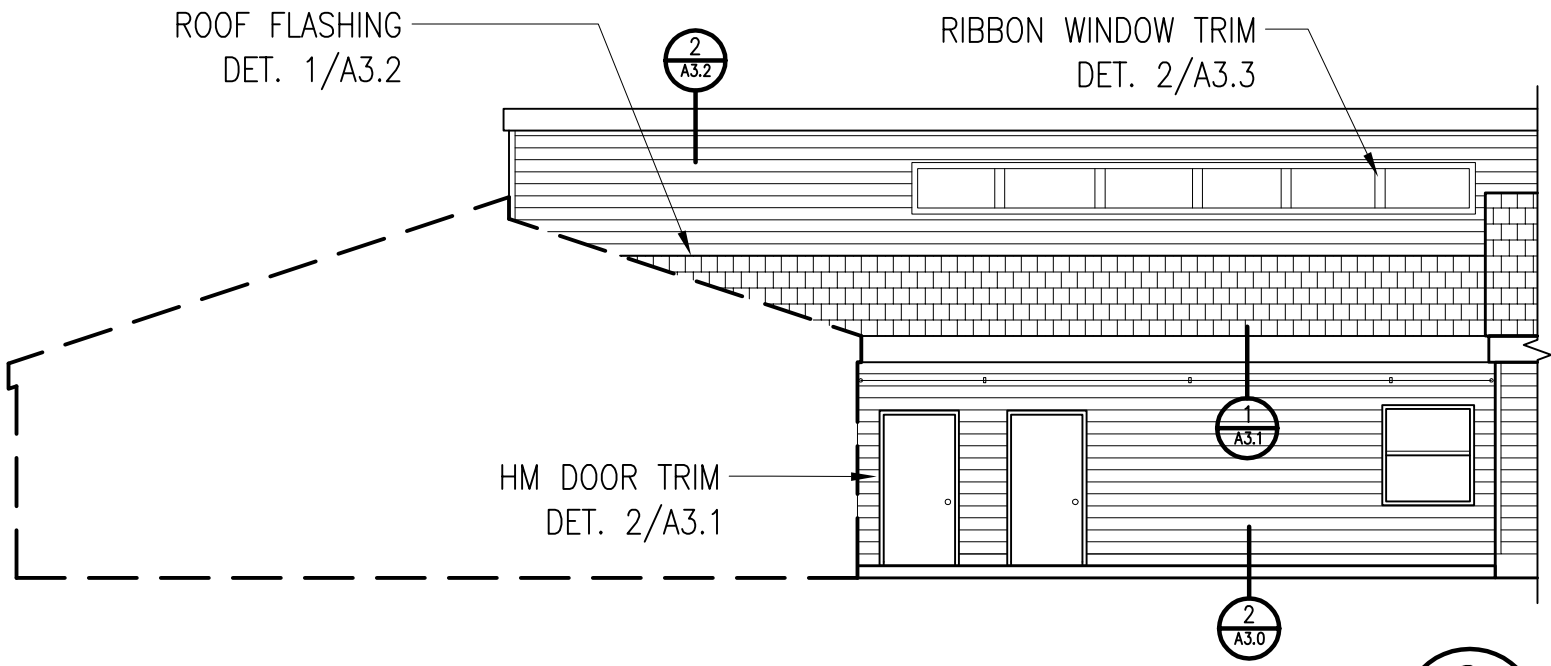
ELEVATION
SCALE 1/8" = 1'-0"

4
A2.2



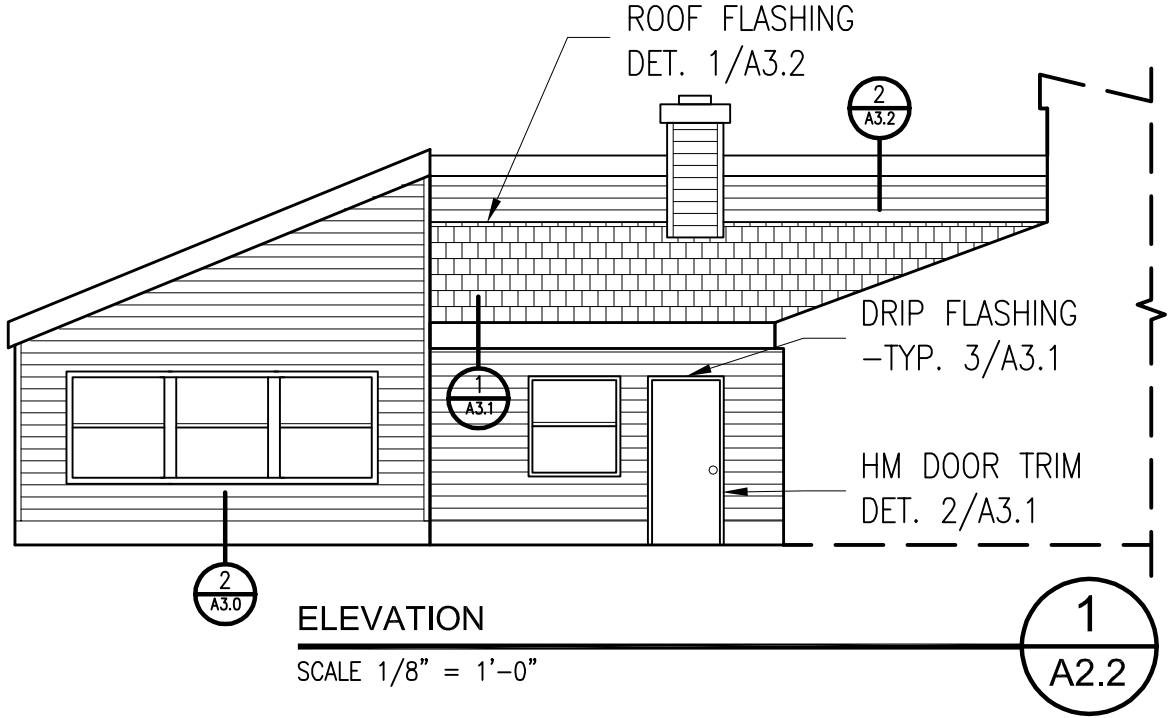
ELEVATION
SCALE 1/8" = 1'-0"

3
A2.2



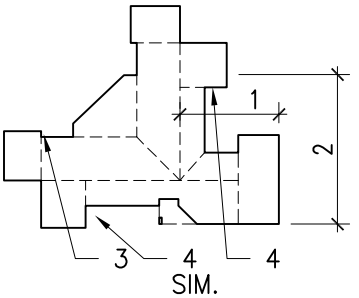
ELEVATION
SCALE 1/8" = 1'-0"

2
A2.2

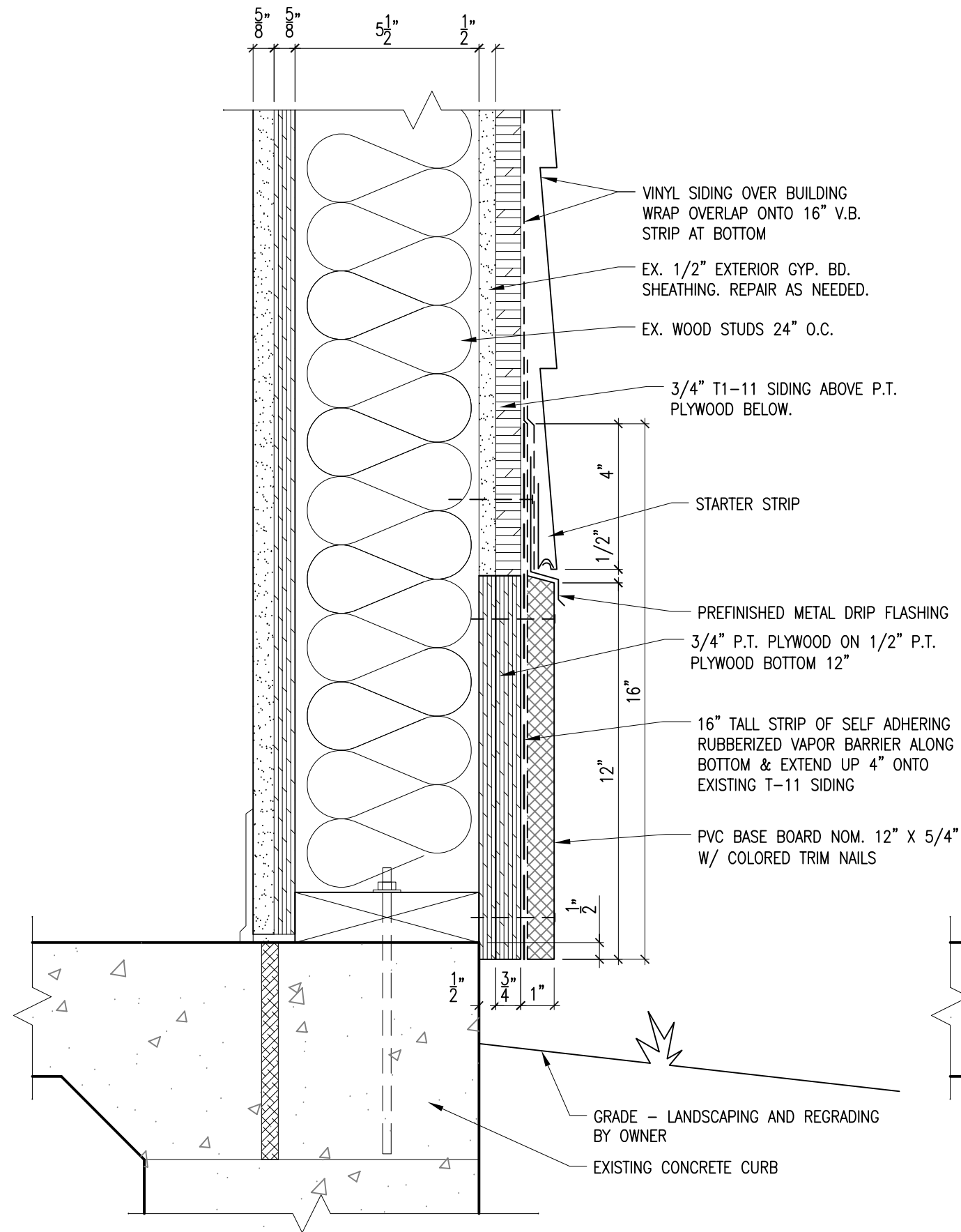


ELEVATION
SCALE 1/8" = 1'-0"

1
A2.2



KEY PLAN N.T.S.

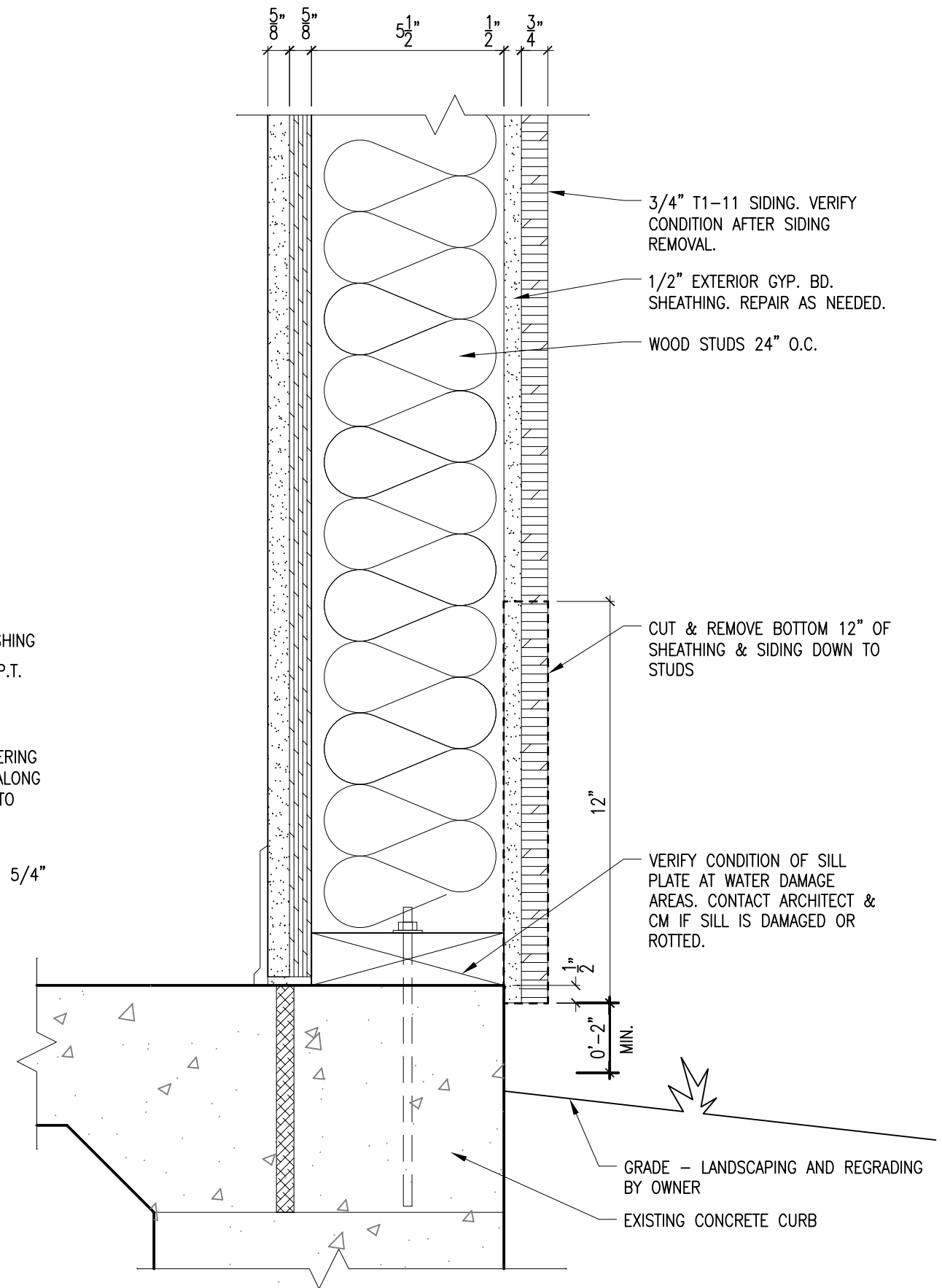


WALL BASE REPAIR DETAIL

SCALE 3" = 1'-0"

2

A3.0



EXISTING WALL BASE DETAIL

SCALE 3" = 1'-0"

1

A3.0

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1251 334TH STREET
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DETAILS

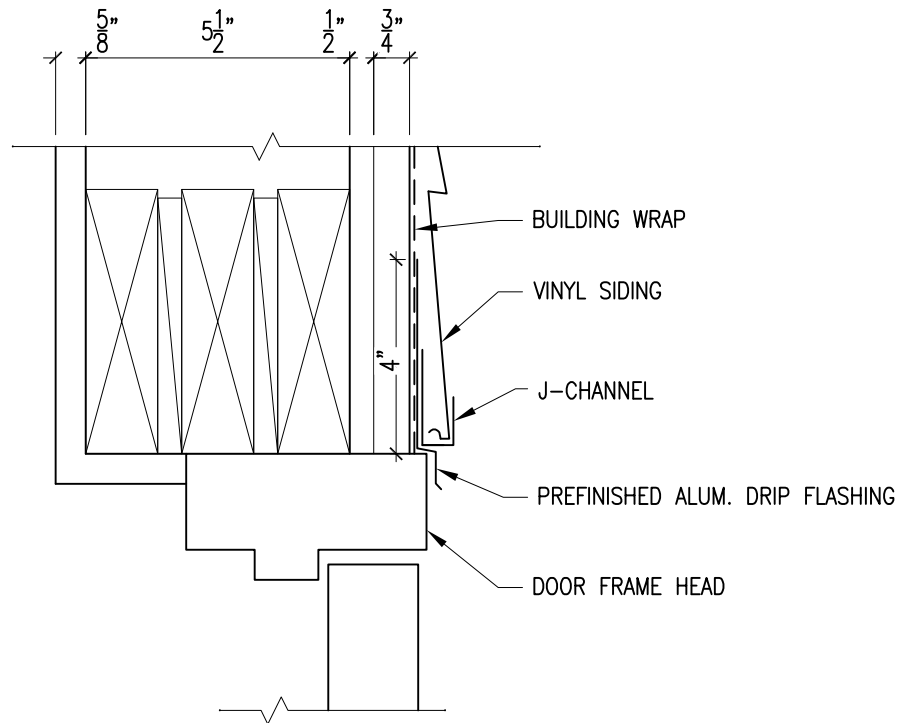
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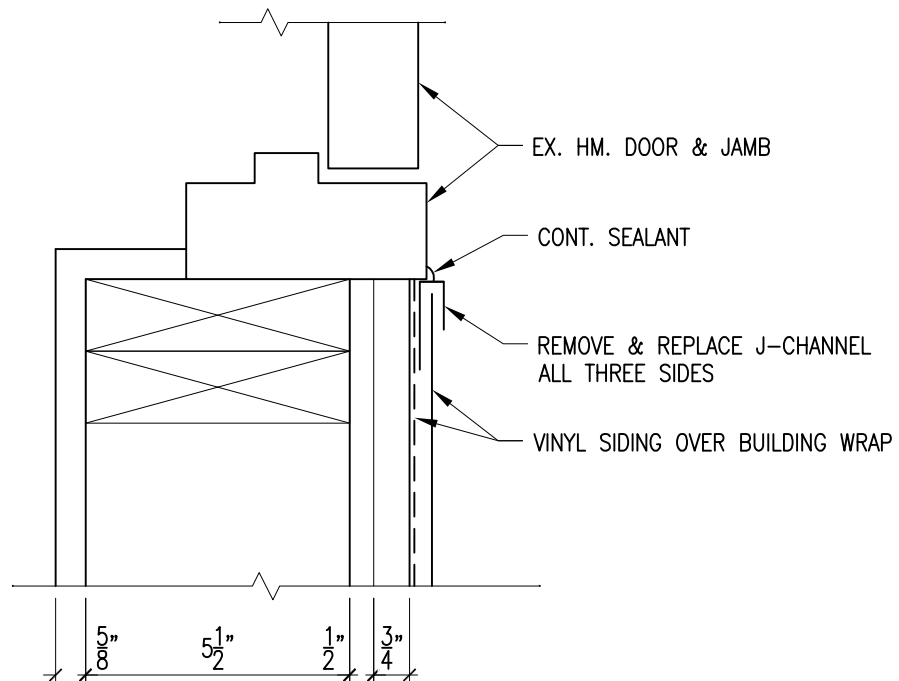
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DOOR TRIM HEAD DETAIL

SCALE 3" = 1'-0"

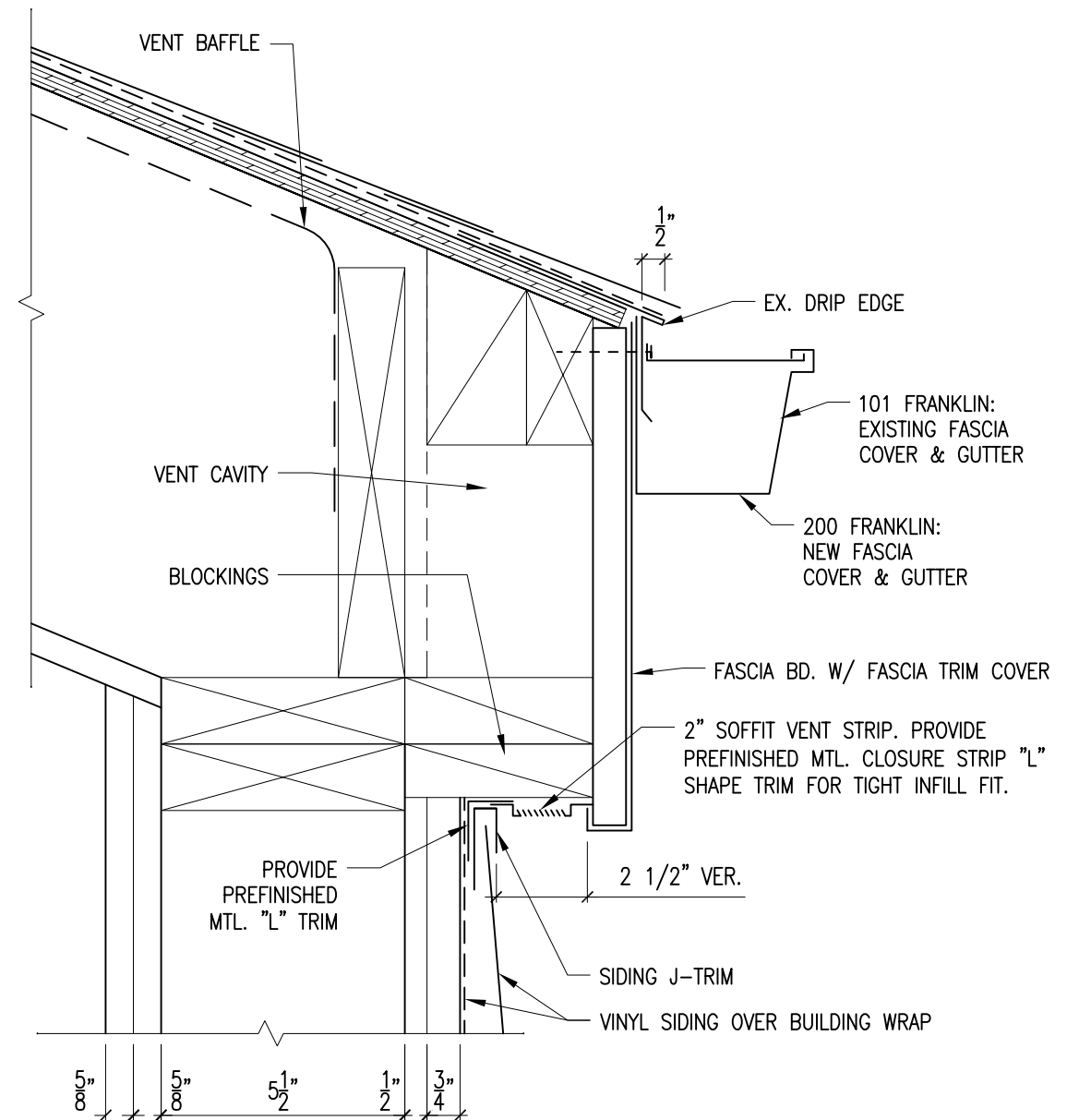
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A3.1



DOOR TRIM JAMB DETAIL

SCALE 3" = 1'-0"

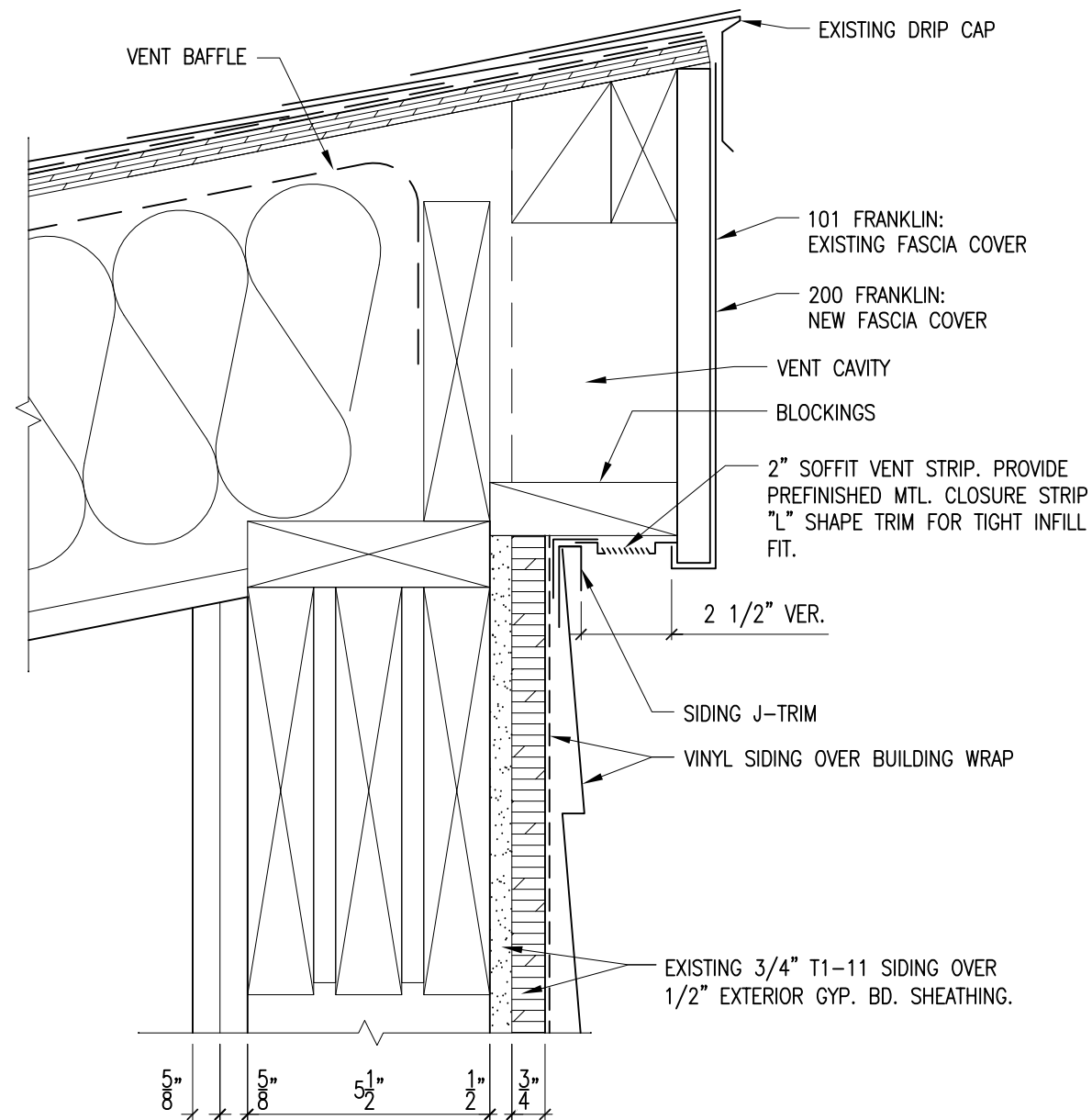
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A3.1



LOWER FASCIA VENT DETAIL

SCALE 3" = 1'-0"

1
A3.1

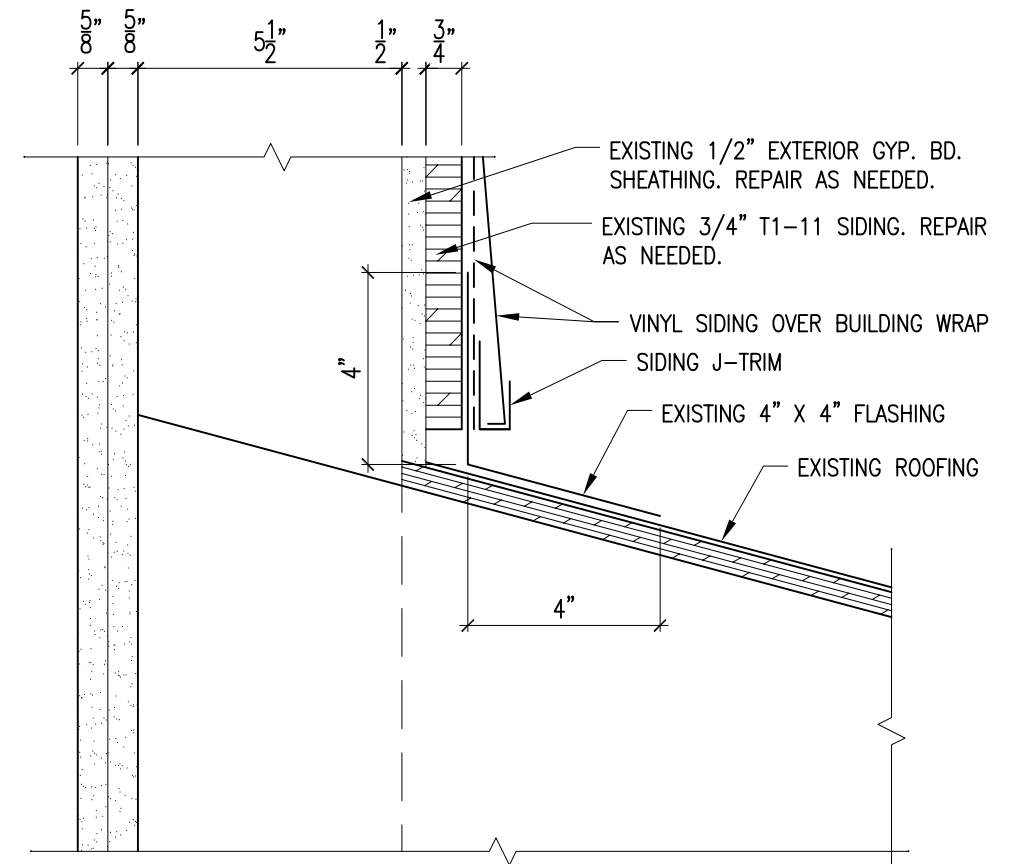


CLERESTORY UPPER FASCIA VENT DETAIL

SCALE 3" = 1'-0"

2

A3.2



CLERESTORY FLASHING DETAIL

SCALE 3" = 1'-0"

1

A3.2

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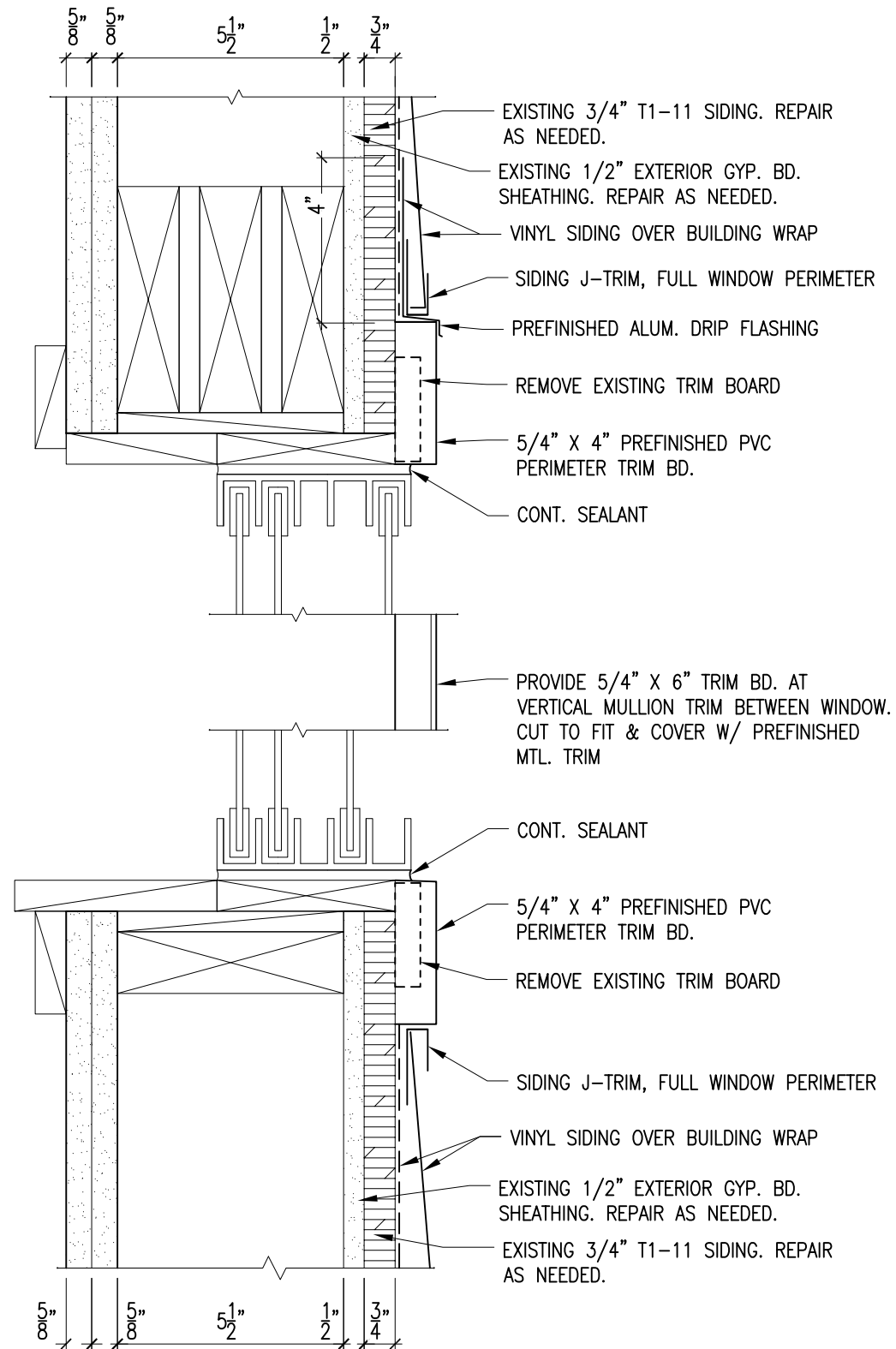
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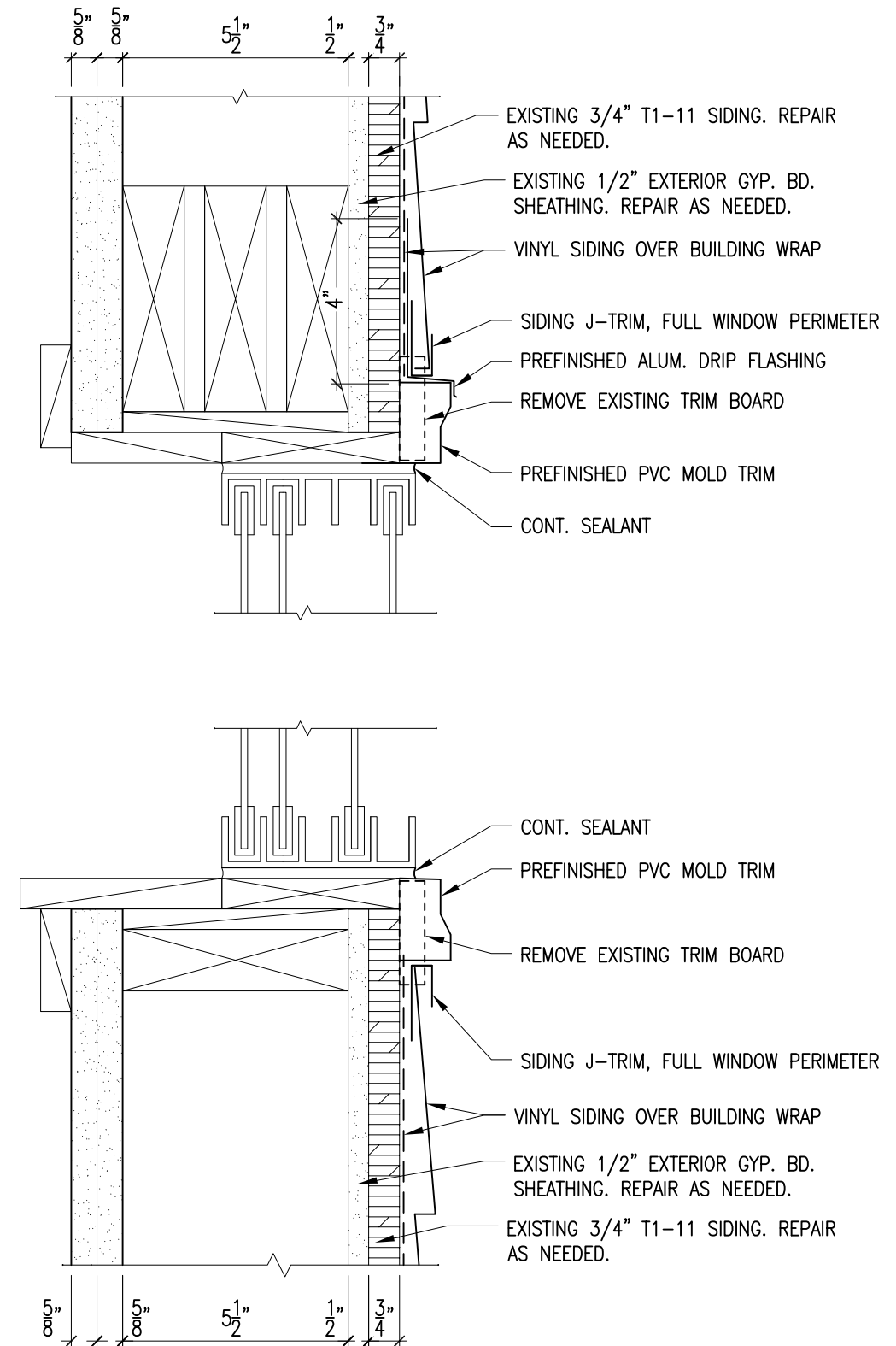


TYPICAL RIBBON WINDOW DETAIL

SCALE 3" = 1'-0"

2

A3.3



TYPICAL SINGLE WINDOW DETAIL

SCALE 3" = 1'-0"

1

A3.3

NOTE: VERIFY CONDITION OF EXISTING T-11 & GYP. BD. SHEATHING AFTER EXISTING VINYL SIDING HAS BEEN REMOVED. CONFIRM S.F. OF ALL AREAS DAMAGED & NEEDING REPAIRS / REPLACEMENT. SEE UNIT COSTS.